

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

Lot A, DP 357768
LGA: CANTERBURY BANSKTOWN COUNCIL

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- BUILDING SPECIFICATIONS & FIRE SAFETY:**
- General Requirements:
- Window sizes are approximate and are to be verified on site prior to fabrication.
 - All glass thickness to be suitable to current glazing code.
 - All frames to windows shall be selected powdercoat aluminum.
 - All windows to comply with current wind loads.
 - All windows and doors to be complete with weather strips, trims, deadlocks and fly screens to match.
 - Do not scale window openings off drawings.
 - All steelwork to be hot dipped galvanised as specified by engineer.
 - Steelwork 3 tier paint system - 2 pack epoxy system 1. waterproof / hardener; 2. primer / hardener; 3. colour / hardener.
 - Expansion joints in brickwork to engineering details.
 - All brick ties, lintels and structural steel to be stainless unless otherwise noted.
 - All mortar and brickwork to be salt resistant.
 - All DA conditions to be complied with.
 - Provide falls in all areas to achieve adequate drainage required to outlets.Builder to provide topping to ensure acceptance by structural and hydraulic engineers.
 - Waterproofing to all areas to be suitable for purpose. All waterproofing to be confirmed by appointed hydraulic consultant.
 - All warranties and guarantees to be provided for all waterproofing.
 - Painting to AS2311, builder to discuss and confirm all paint systems and applications with client prior to any work commencing.
 - All glass balustrades to comply with Australian Standards, shop drawings to be provided for approval prior to any fabrication. To be confirmed by structural engineer.
 - Exposed timber to be selected by builder. All timbers to be suitable for outdoor exposure.
 - Sound transmission and insulation - builder to achieve BCA/NCC compliance for sound rating in accordance with relevant BCA/NCC.
 - Service ducts and pipes to comply with BCA/NCC requirements.Builder to appoint an acoustic engineer to provide specialist advice for strict compliance.
 - All service ducts/risers/penetrations to be fully sound and fire rated to BCA/NCC and Australian standard requirements.
 - Mechanical ventilation zones to be constructed in compliance with Part 3.8.5 Ventilation of the BCA/NCC.
 - Builder to provide full certificate of roofing material used and warranty of supply and installation.
 - All steel lintels to be fire rated. Smoke seals in accordance with BCA/NCC and Australia standards. <Fire seperation to all floor and cavities in accordance to BCA/NCC.
 - "Homeguard" termite management barriers to be used to cover all aspects of termite protection to comply with AS 3660.1
 - Glazing to sliding doors and areas subject to potential human impact to comply with Part 3.6 Glazing of the BCA/NCC.
 - Full compliance with BASIX & Natthers requirements.
 - Builder and all trades must register and obtain relevant information from "dial before you dig" <www.1100.com.au> prior to commencing works.
 - Steelwork 3 tier paint system - 2 pack epoxy syste. 1. waterproof/hardner 2. primer/hardner 3. colour/hardner.

All Standards and Codes including but not limited to the BCA/ NCC and any referenced AS/NZS standard to apply and be conformed with as required.



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Approved By A Salameh

B.Des Architecture | M.Architecture at UTS

BDAA 6523

NO.	Date	Revision
A	18.12.2024	ISSUE FOR DA
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Date	20 DECEMBER 2024	Project no.	42/2024	Client	SUPERB ENTERPRISES
Revision no.		Checked by		Drawing title	COVER PAGE
	A		AS	Scale	@ A2
PROPOSED ATTACHED DUAL OCCUPANCY					Drawing no
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213					000

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water

2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.

3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Conventions in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.

4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).

5. If a star or other rating is specified in a commitment, this is a minimum rating.

6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

Common area

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

All common areas

no common facility

no common facility

no common facility

no common laundry facility

(i) Energy

2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.

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Common area

Show on DA plans

Show on CC/CDC plans & specs

Certifier check

All common areas

no common facility

no common facility

no common facility

no common laundry facility

44 BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.0.1 EUCALYPTUS_03_01_0 Certificate No.: 1770062M Thursday, 16 January 2023 page 13/15

Central energy systems

Type

Specification

Other

-

-

44 BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.0.1 EUCALYPTUS_03_01_0 Certificate No.: 1770062M Thursday, 16 January 2023 page 14/15

Notes

1. In these commitments, "applicant" means the person carrying out the development.

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Nationwide House Energy Rating Scheme®

Multiple Class 1 Dwellings Summary

NatHERS® Certificate No. FC5NKKDD873

Generated on 16 Jan 2025 using FirstRate® v5.5.5a

Property

Address

866 Henry Lawson Drive, East Hills, NSW, 2213

Lot/DP

NatHERS Climate Zone

56

Accredited assessor

Name

Milard Perez

Business name

Thermperform

Email

milard@thermperform.com.au

Phone

+6140236704

Accreditation No.

101510

Assessor Accrediting Organisation

ARSA

Verification

To verify this certificate, scan the QR code or visit <https://www.nrs.com.au/QRCode/energy/Thermperform/FC5NKKDD873/GrpCdr-1>

When using either link, ensure you are visiting www.nrs.com.au

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 non-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 4.2 of NCC Volume Two. For apartments the requirements are detailed in clauses J203 and J2015 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ARCS standards and support material, can be accessed at www.arcs.gov.au.

Note: variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Summary of all dwellings

Certificate number and link	Unit number	Heating load (Board limit) [MJ/m²/p.a.]	Cooling load (Board limit) [MJ/m²/p.a.]	Total load [MJ/m²/p.a.]	Star rating	Whole of Home Rating
LSUJ0ROHNV	1	6.9 (NA)	17.1 (NA)	23.9	7.6	NA
3QX7JMSZX4	2	20.6 (NA)	9.1 (NA)	29.7	7	NA

44 Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see www.nathers.gov.au. Generated on: 16 Jan 2025 using FirstRate® v5.5.5a for 666 Henry Lawson Drive, East Hills, NSW, 2213 Page 1 of 2

FC5NKKDD873 NatHERS Certificate

7.3 Star rating as of 16 Jan 2025

Explanatory notes

About this report

This is a summary of NCC Class 1 dwellings in a development. For more details of each dwelling refer to the individual dwelling's certificate using the certificate number in summary of all dwellings table.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy loads and energy value*. The thermal performance star rating uses the home's building specific factors, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and on-site energy production and storage to estimate the home's energy value*.

For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licensed assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data it may be available from the assessor.

44 Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see www.nathers.gov.au. Generated on: 16 Jan 2025 using FirstRate® v5.5.5a for 666 Henry Lawson Drive, East Hills, NSW, 2213 Page 2 of 2

Nationwide House Energy Rating Scheme®

NatHERS® Certificate No. LSUJ0ROHNV

Generated on 15 Jan 2025 using FirstRate® 5.5.5a (3.22)

Property

Address

1, 666 Henry Lawson Drive, East Hills, NSW, 2213

Lot/DP

ACP357766

NCC Class*

Class 1a

Floor/total Floors

New Home

Plans

Main plan

4/2024 Rev A/16.12.2024

Prepared by

Dezcon

Construction and environment

Assessed floor area [m²]

228.2

Exposure type

suburban

Conditioned*

16.7

NatHERS climate zone

56 Mascot AMD

Unconditioned*

16.7

Garage

16.7

Accredited assessor

Name

Milard Perez

Business name

Thermperform

Email

milard@thermperform.com.au

Phone

+6140236704

Accreditation No.

101510

Assessor Accrediting Organisation

ARSA

Declaration of interest

No

NCC Requirements

NCC provisions

Volume 2

State/Territory variation

Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 non-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 4.2 of NCC Volume Two. For apartments the requirements are detailed in clauses J203 and J2015 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ARCS standards and support material, can be accessed at www.arcs.gov.au.

Note: variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Thermal performance star rating

7.6

7.6 stars means the more energy efficient

24 MJ/m²

Predicted annual energy use for heating and cooling based on standard efficiency assumptions.

For more information see the NatHERS website www.nathers.gov.au

Thermal performance [MJ/m²]

Little better than J2033 Standard 2022

Heating

Cooling

Modelled

6.8

17.1

Load limits

N/A

N/A

Features determining load limits

Floor type

N/A

(lower conditioned area)

N/A

NCC climate zone 1 or 2

N/A

Outdoor living area

N/A

Outdoor living area ceiling fan

N/A

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

To verify this certificate, scan the QR code or visit <https://www.nrs.com.au/QRCode/energy/Thermperform/LSUJ0ROHNV>

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44 *Refer to glossary Generated on: 15 Jan 2025 using FirstRate® 5.5.5a (3.22) for ACP357766, U 1, 666 Henry Lawson Drive, East Hills, NSW, 2213 Page 1 of 13

Nationwide House Energy Rating Scheme®

NatHERS® Certificate No. 3QX7JMSZX4

Generated on 15 Jan 2025 using FirstRate® 5.5.5a (3.22)

Property

Address

2, 666 Henry Lawson Drive, East Hills, NSW, 2213

Lot/DP

ACP357766

NCC Class*

Class 1a

Floor/total Floors

New Home

Plans

Main plan

4/2024 Rev A/16.12.2024

Prepared by

Dezcon

Construction and environment

Assessed floor area [m²]

228.2

Exposure type

suburban

Conditioned*

16.7

NatHERS climate zone

56 Mascot AMD

Unconditioned*

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Garage

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No

NCC Requirements

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Volume 2

State/Territory variation

Yes

National Construction Code (NCC) requirements

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NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ARCS standards and support material, can be accessed at www.arcs.gov.au.

Note: variations and additions to the NCC energy efficiency requirements may apply in some states and territories.

Thermal performance star rating

7

7 stars means the more energy efficient

29.7 MJ/m²

Predicted annual energy use for heating and cooling based on standard efficiency assumptions.

For more information see the NatHERS website www.nathers.gov.au

Thermal performance [MJ/m²]

Little better than J2033 Standard 2022

Heating

Cooling

Modelled

20.6

9.1

Load limits

N/A

N/A

Features determining load limits

Floor type

N/A

(lower conditioned area)

N/A

NCC climate zone 1 or 2

N/A

Outdoor living area

N/A

Outdoor living area ceiling fan

N/A

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

To verify this certificate, scan the QR code or visit <https://www.nrs.com.au/QRCode/energy/Thermperform/3QX7JMSZX4>

When using either link, ensure you are visiting www.nrs.com.au

44 *Refer to glossary Generated on: 15 Jan 2025 using FirstRate® 5.5.5a (3.22) for ACP357766, U 2, 666 Henry Lawson Drive, East Hills, NSW, 2213 Page 1 of 13

SITE CALCULATIONS	CRITERIA	PROPOSED
TOTAL SITE AREA	400 m²	929 m²
ZONE	-	R2
MAX FSR	0.5:1 =464.5 m²	464 m²
MAX BUILDING HEIGHT	9 m	7.455 m
LANDSCAPING		
FRONT LANDSCAPE	45%	50.6%

PROPOSED LOT 01		
GROUND FLOOR AREA	-	122 m²
FIRST FLOOR AREA	-	110 m²
TOTAL FSR	-	232 m²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	7700 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m²	80.2 m²

PROPOSED LOT 02		
GROUND FLOOR AREA	-	122m²
FIRST FLOOR AREA	-	110 m²
TOTAL FSR	-	232 m²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	19130 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m²	80.2 m²

BUILDING SPECIFICATIONS

- DOUBLE BRICK PARTITION WALL TO FL 60/60/60

- BRICK VENEER FOR GROUND AND FIRST FLOOR EXTERIOR WALLS

- TIMBER STUD WALLS FOR ALL INTERIOR WALLS

- CONCRETE SLAB FOR GROUND FLOOR

- SUSPENDED LIGHTWEIGHT FLOOR FOR FIRST FLOOR

- TIMBER FRAMED COLORBOND ROOF

GENERAL NOTES

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF SHEETING AND ROOF TILES

- ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES

- SELECT FINISH TO TIMBER LOUVERS

- DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH

- SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS

- ALUMINIUM POWDER COATED FRAMING TO GLAZED WINDOWS

- ALUMINIUM POWDER COATED BI-FOLD DOORS WITH SELCT GLAZING

- ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT GLAZING

- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR

- SELECT GLAZING TO BALCONY BALUSTRADING

- REINFORCED CONCRETE V COLOUMN

- SELECT FINISH TO ROLLER SHUTTER DOORS

- PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS

- PROVIDE SELECT FLOOR FINISH

- RC, SLAB, FOOTINGS AND BEAMS

- REFER TO BASIX REPORT FOR THERMAL, GLAZING AND WATER COMMITMENTS

- REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS

NO.

Date

Revision

A

18.12.2024

ISSUE FOR DA

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www.dezcon.net.au

Approved By A Salameh

B.Des.Architecture | M.Architecture at UTS

BDA 6523

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Date

20 DECEMBER 2024

Project no.

42/2024

Client

SUPERB ENTERPRISES

Revision no.

Checked by

Drawing title

SITE SPECIFICATIONS

A

AS

Scale

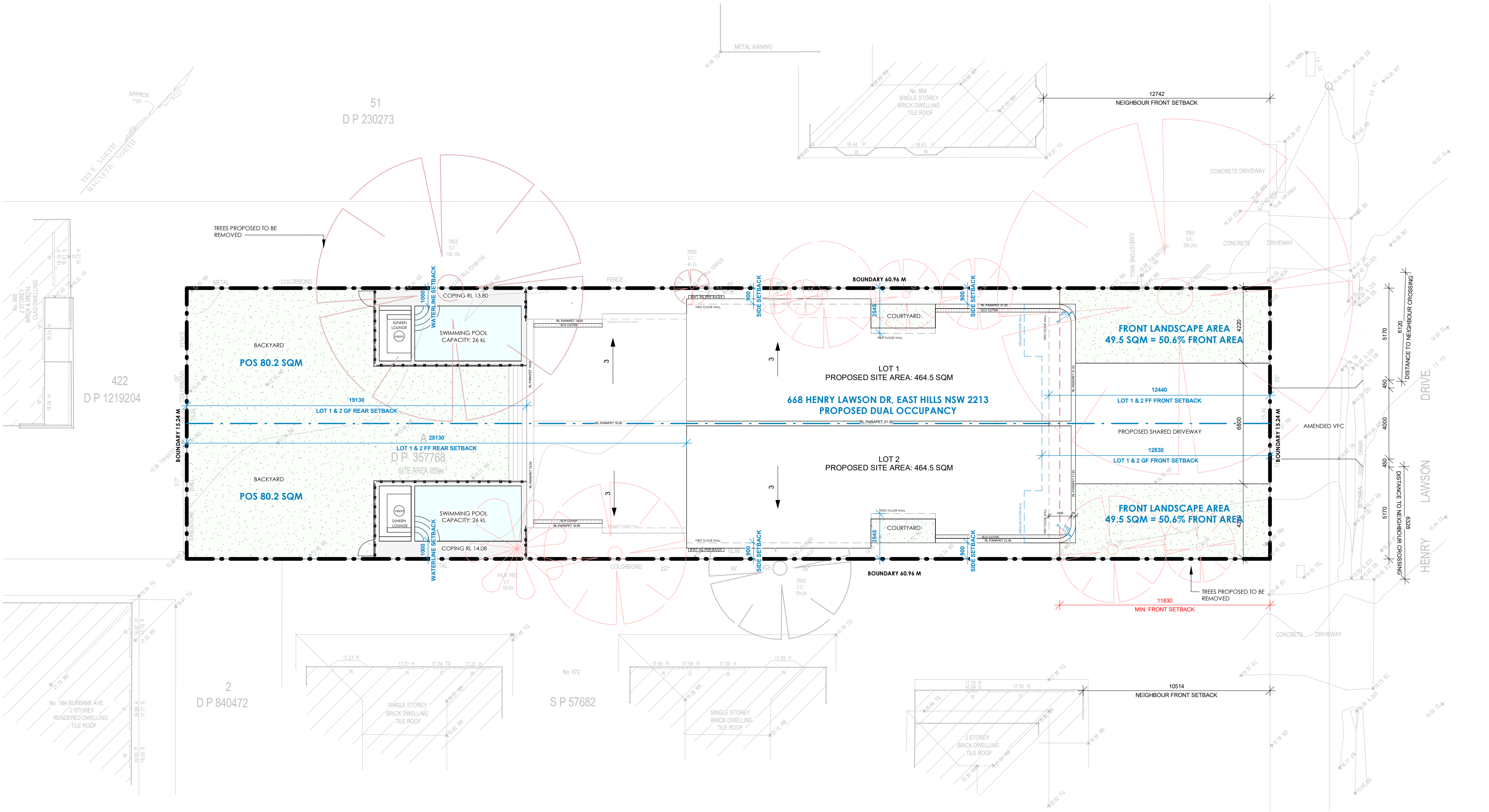
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PROPOSED ATTACHED DUAL OCCUPANCY

Drawing no

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

002



1 Site Plan

1 : 150

NOTES:

- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.5.4 OF THE NCC VOLUME TWO 2022 & AS3786:2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H4D9 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCS HOUSING PROVISIONS
- BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.56
- RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2

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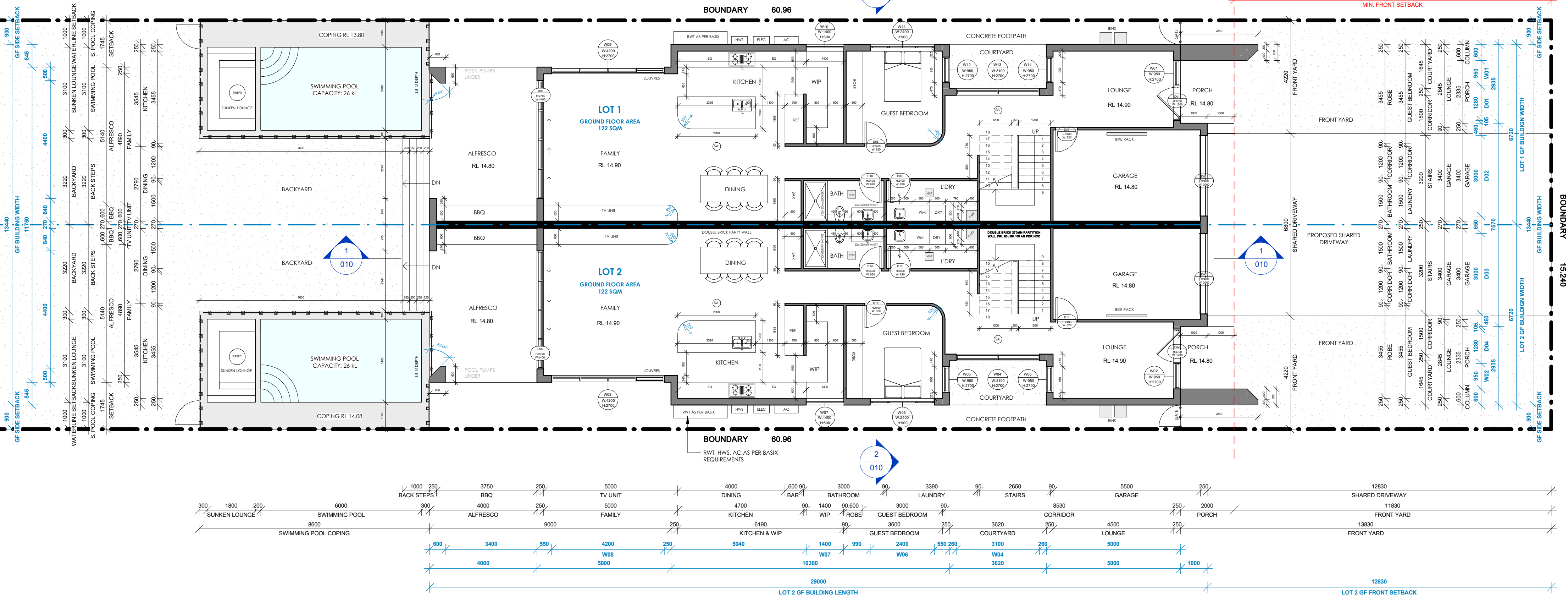
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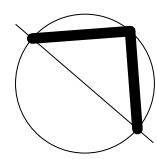
Date	Project no.	Client	SUPERB ENTERPRISES
20 DECEMBER 2024	42/2024		
Revision no.	Checked by	Drawing title	SITE PLAN
A	AS	Scale	1 : 150 @ A2
PROPOSED ATTACHED DUAL OCCUPANCY			
Drawing no			
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213			

003



1 Ground Floor Plan

1 : 100



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NO.	Date	Revision
A	18.12.2024	ISSUE FOR DA

Date	Project no.	Client
20 DECEMBER 2024	42/2024	SUPERB ENTERPRISES
Revision no.	Checked by	Drawing title
A	AS	GROUND FLOOR PLAN
Scale	Drawing no	
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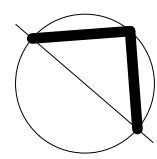
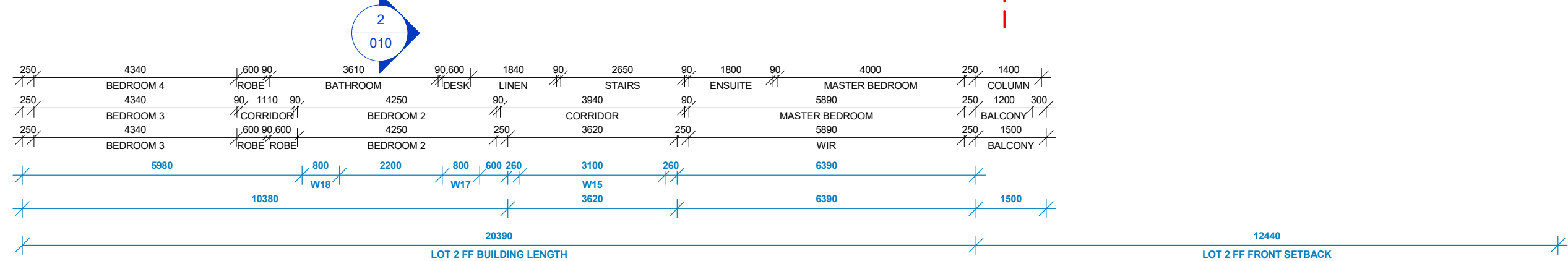
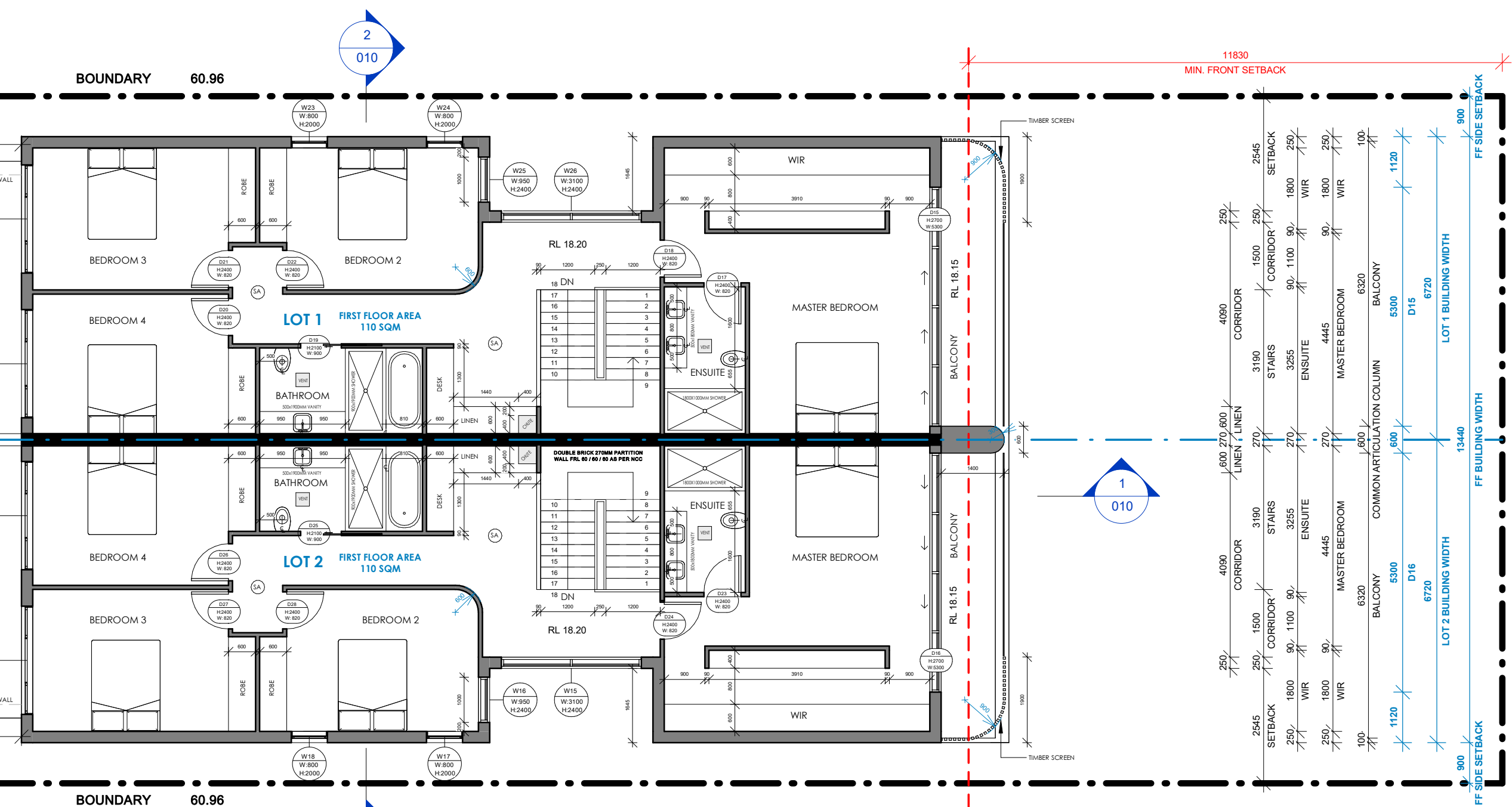
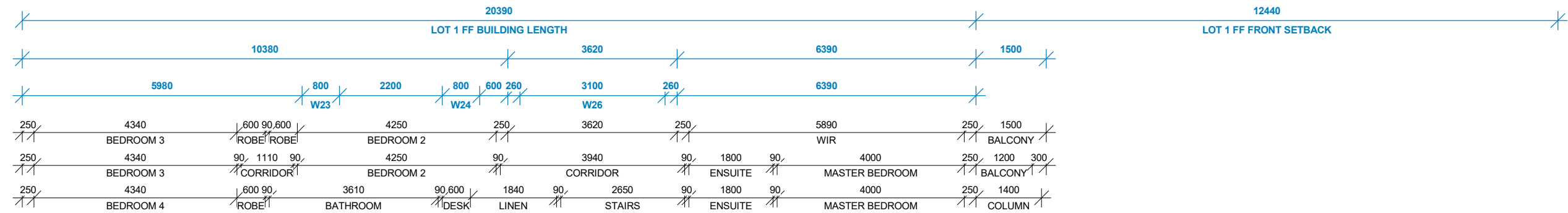
PROPOSED ATTACHED DUAL OCCUPANCY

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

004

1 First Floor Plan

1 : 100



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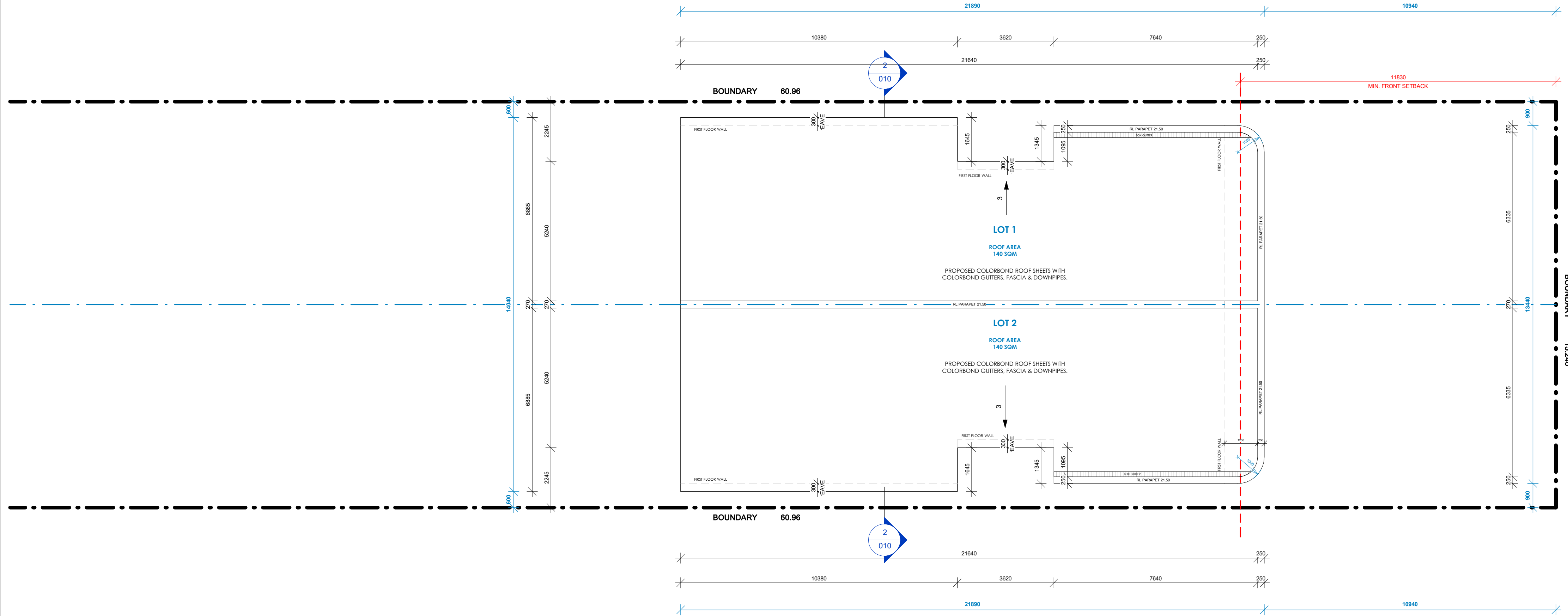
NO.	Date	Revision
A	18.12.2024	ISSUE FOR DA

Date	Project no.	Client
20 DECEMBER 2024	42/2024	SUPERB ENTERPRISES
Revision no.	Checked by	Drawing title
A	AS	FIRST FLOOR PLAN
Scale	Drawing no	
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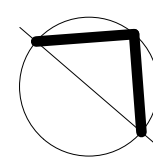
PROPOSED ATTACHED DUAL OCCUPANCY

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

005



1 Roof Plan
1 : 100

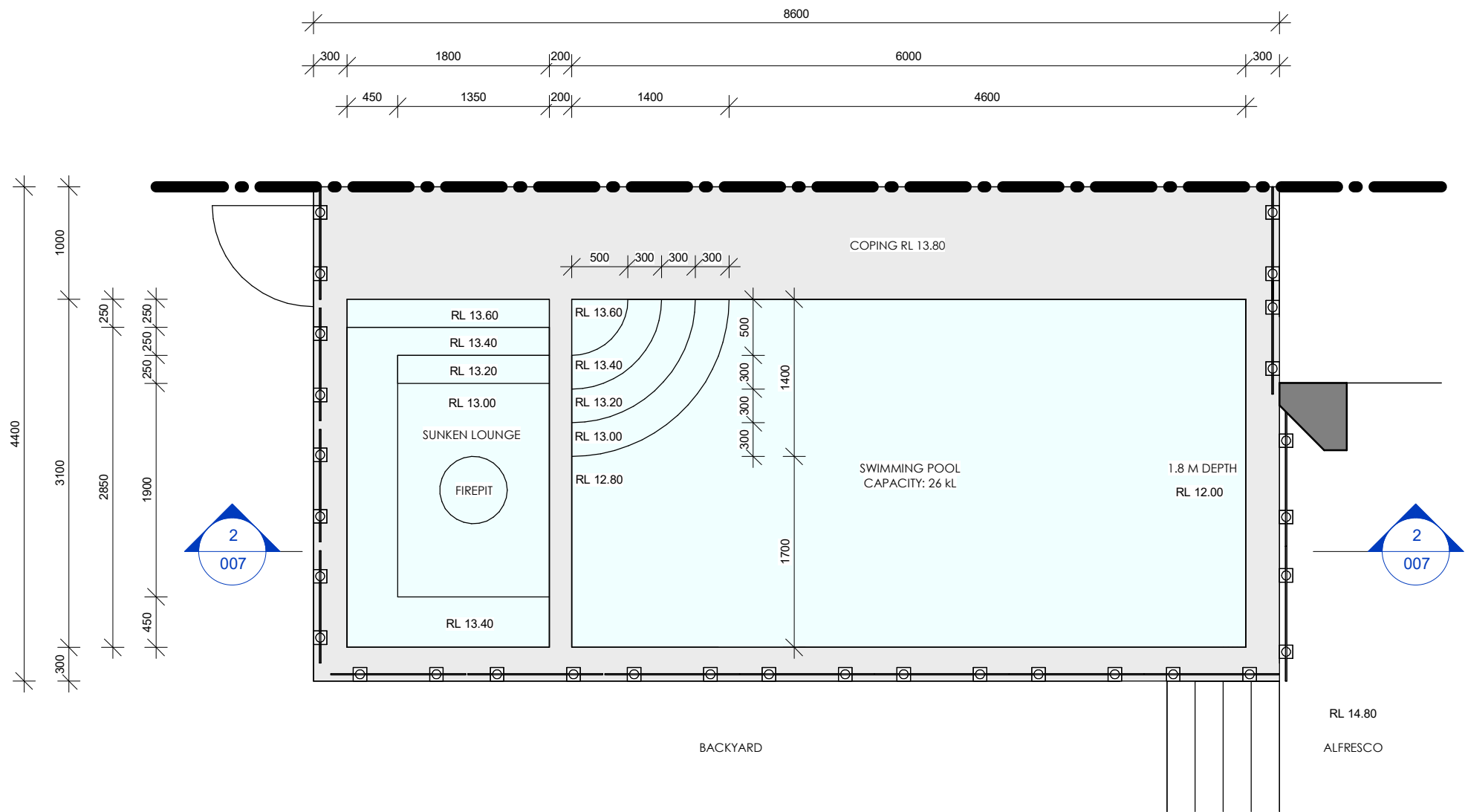


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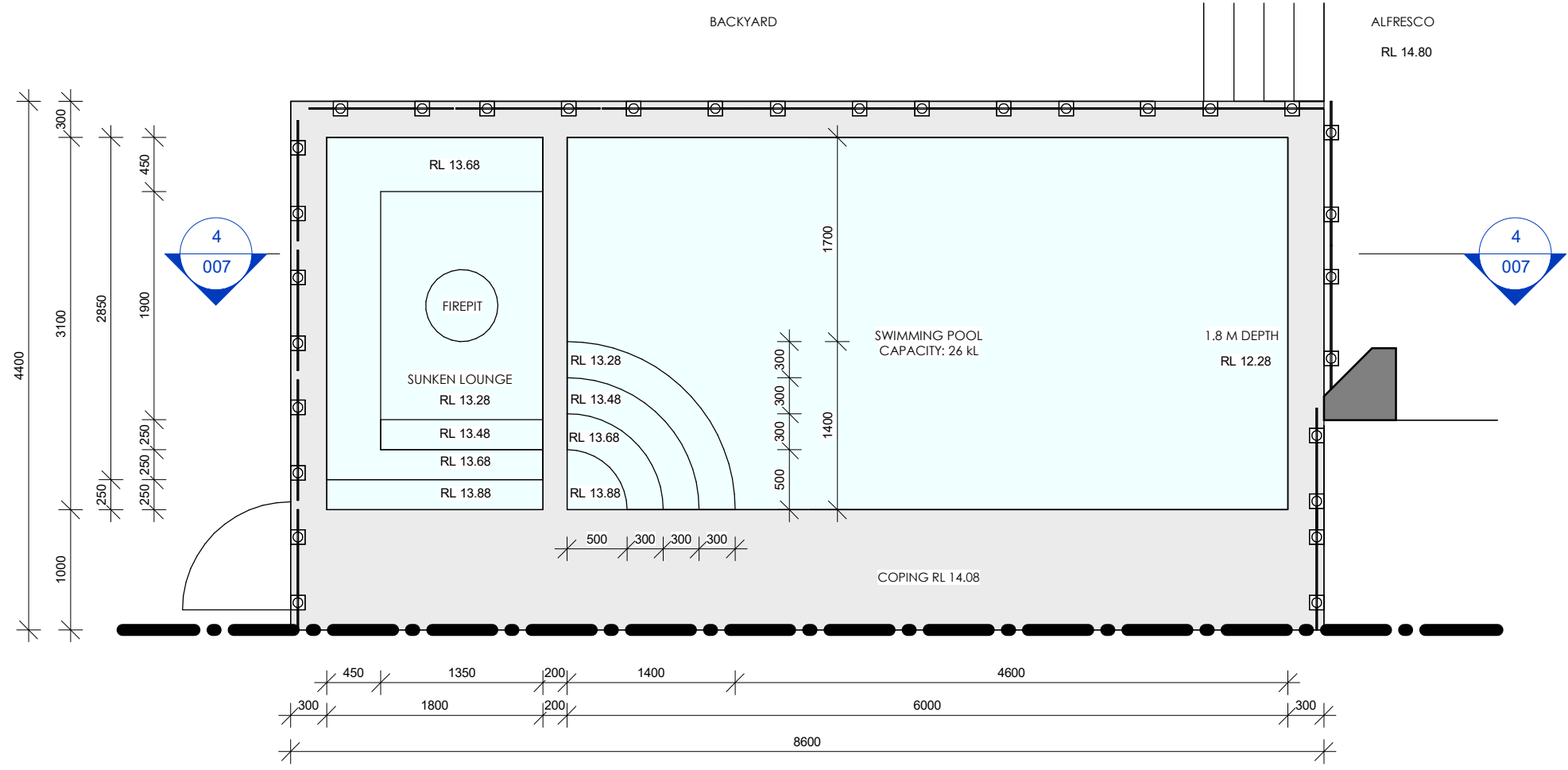
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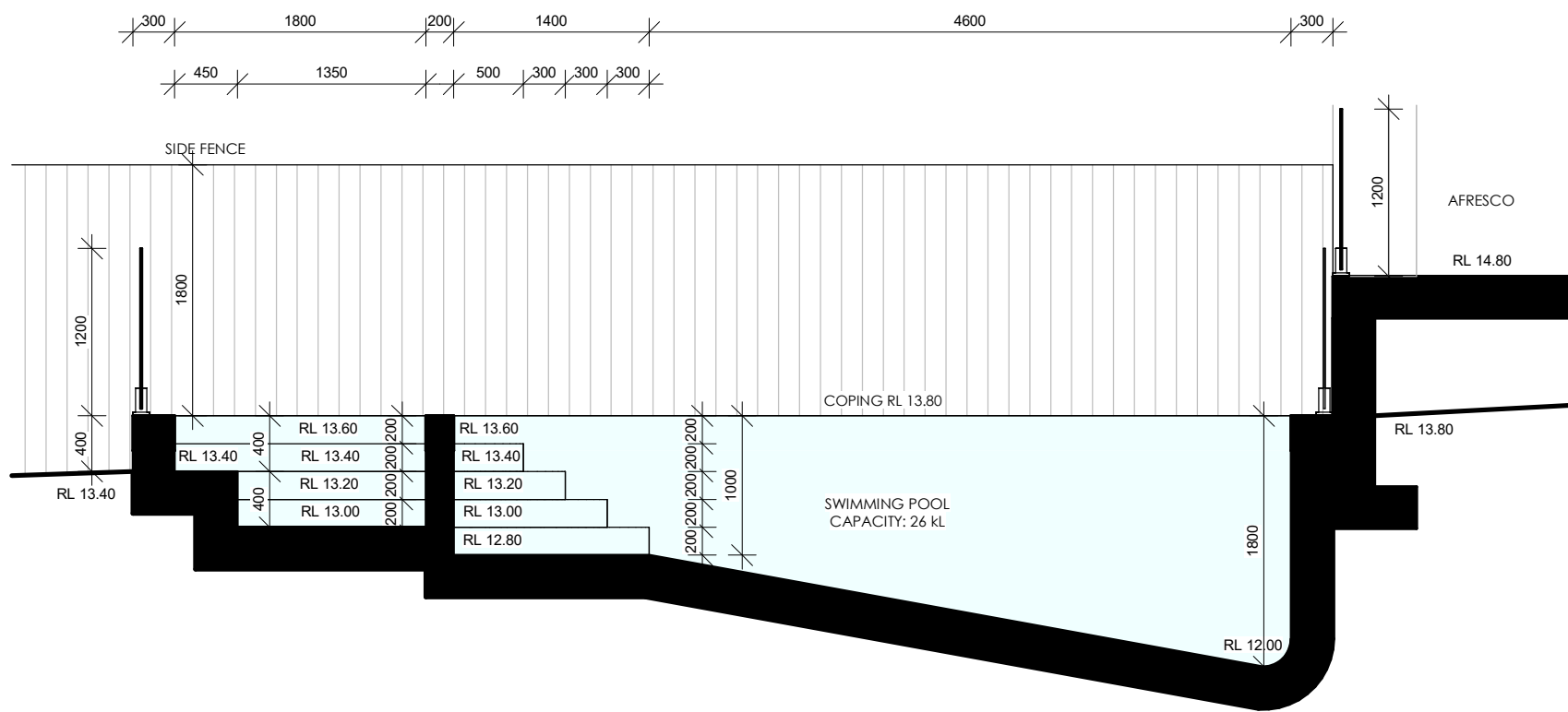
Date	20 DECEMBER 2024	Project no.	42/2024	Client	SUPERB ENTERPRISES
Revision no.	A	Checked by	AS	Drawing title	ROOF PLAN
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668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213				Drawing no	006



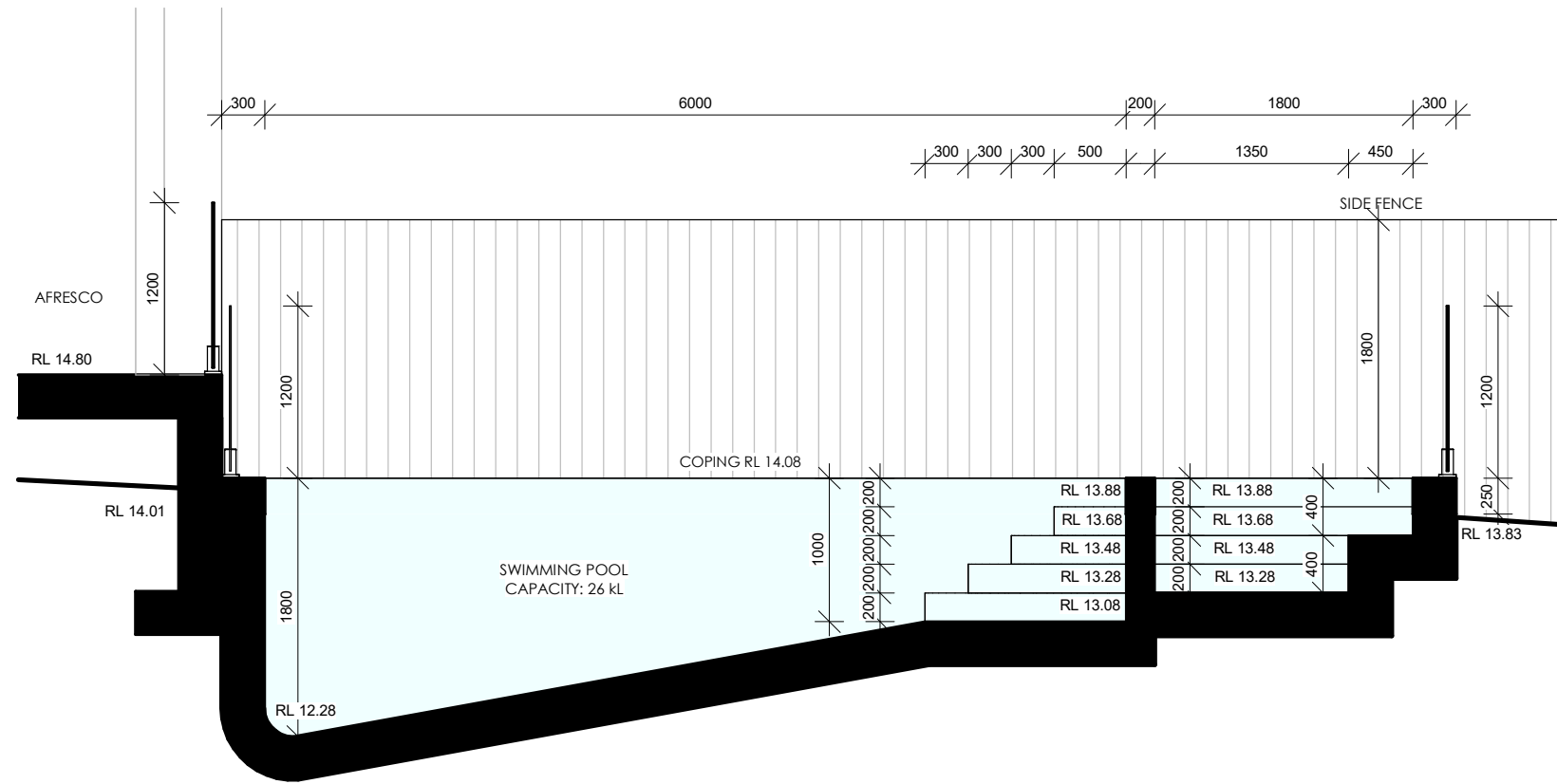
1 Lot 1 Swimming Pool Plan
1 : 50



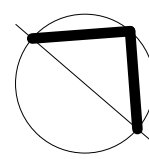
3 Lot 2 Swimming Pool Plan
1 : 50

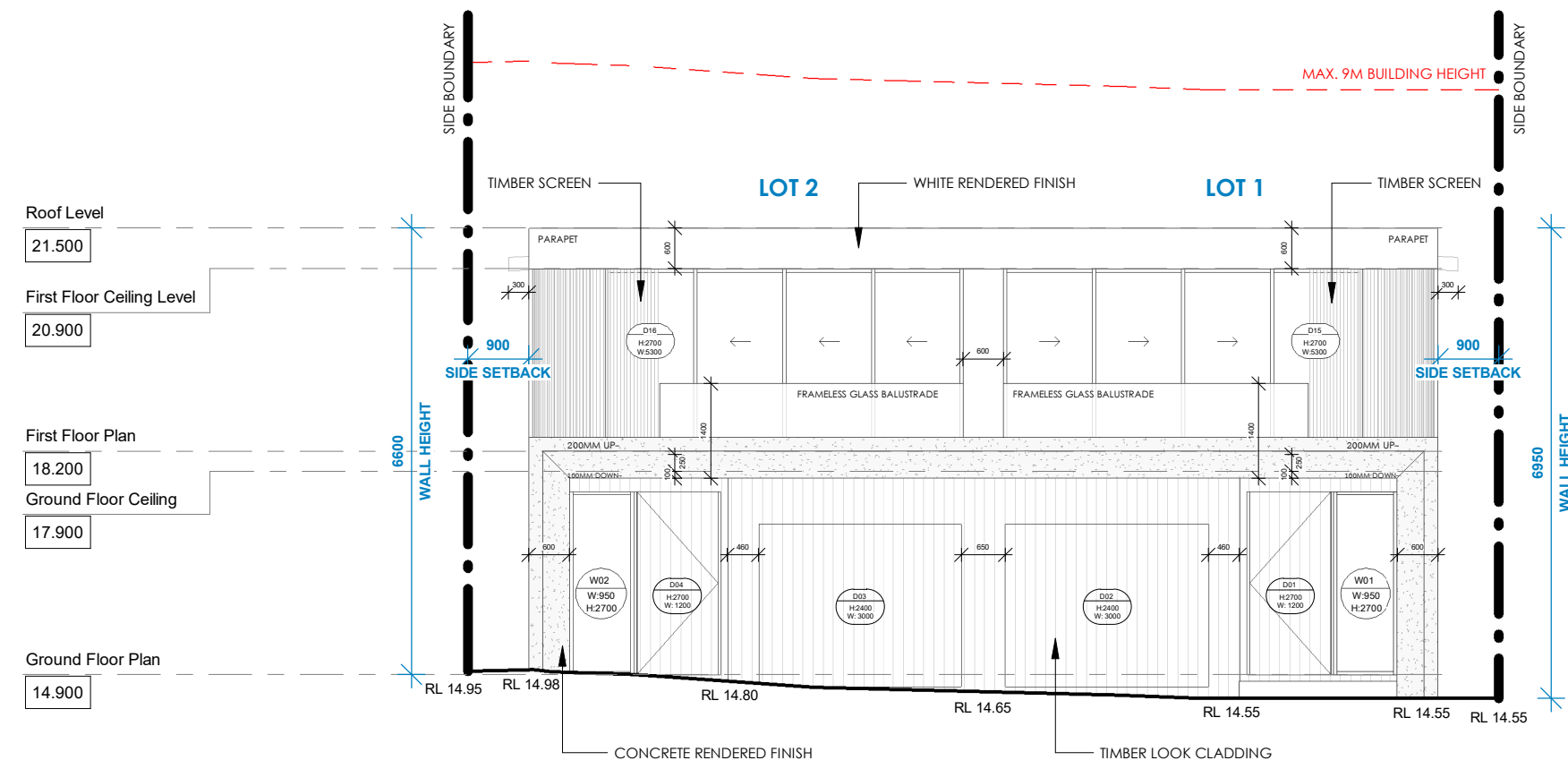


2 Lot 1 Swimming Pool Section
1 : 50

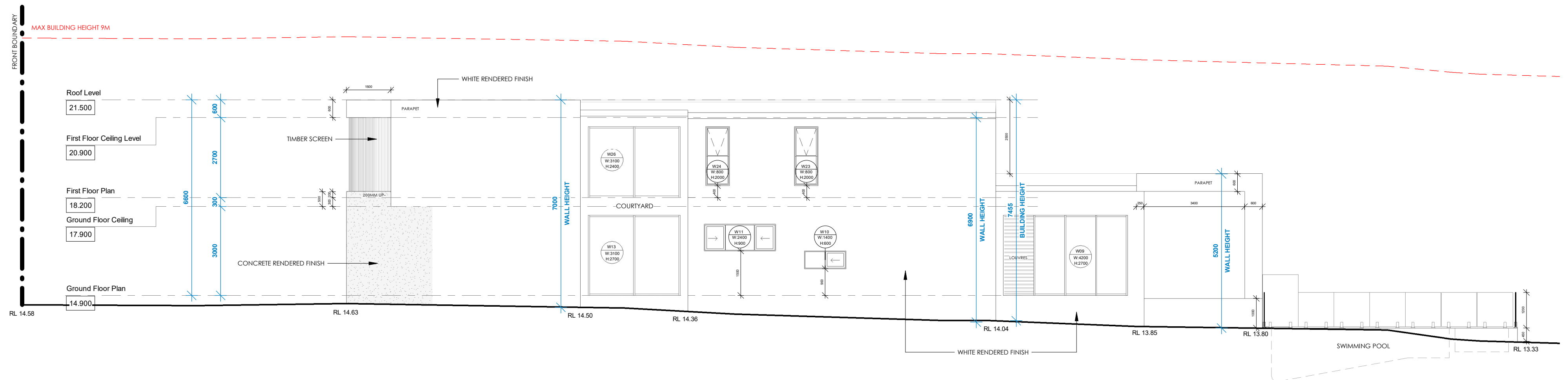


4 Lot 2 Swimming Pool Section
1 : 50

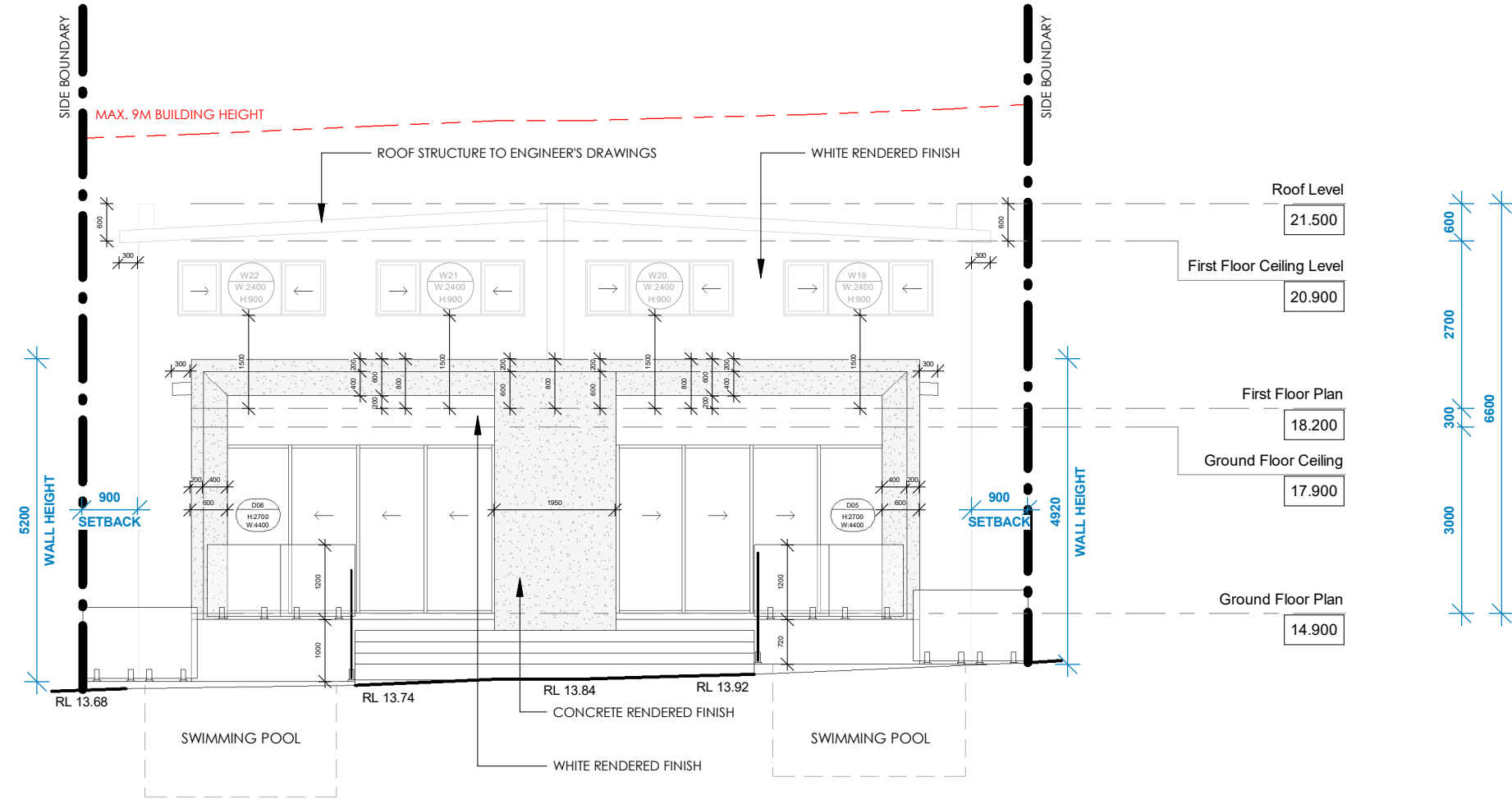




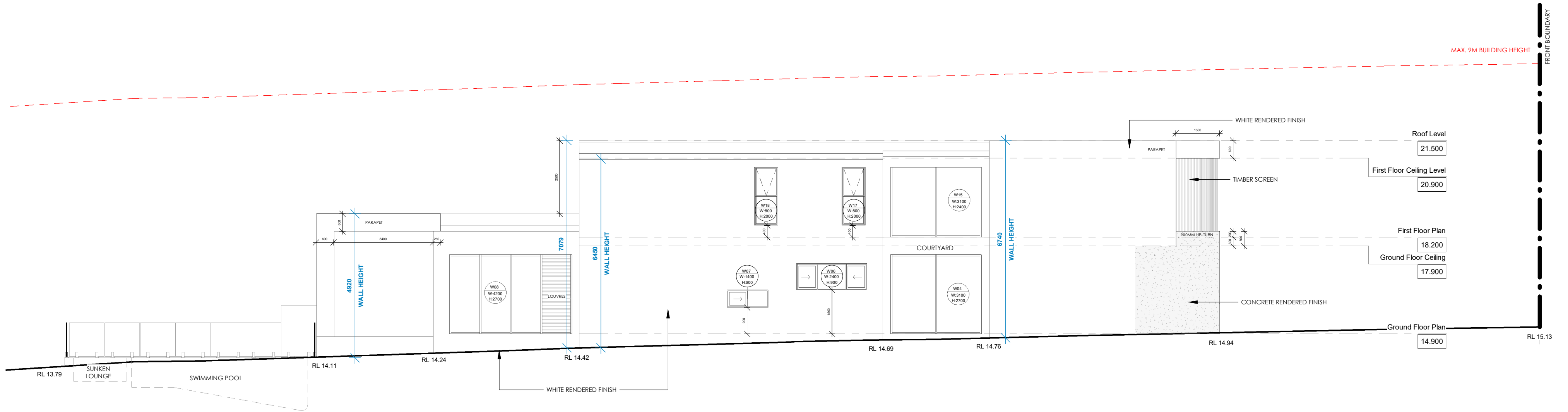
2 North East Facade Elevation
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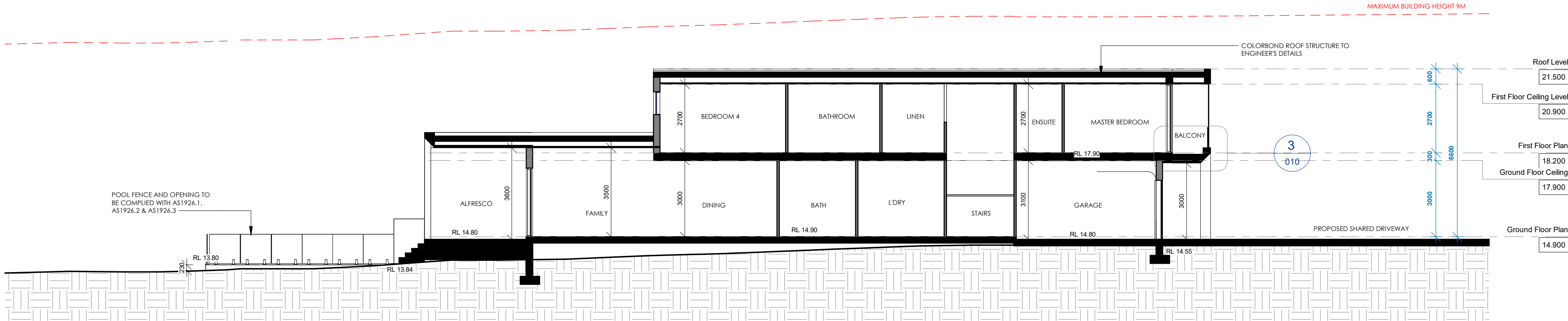
1 South West Elevation (Lot 1)
1 : 100



1 South West Rear Elevation
1 : 100

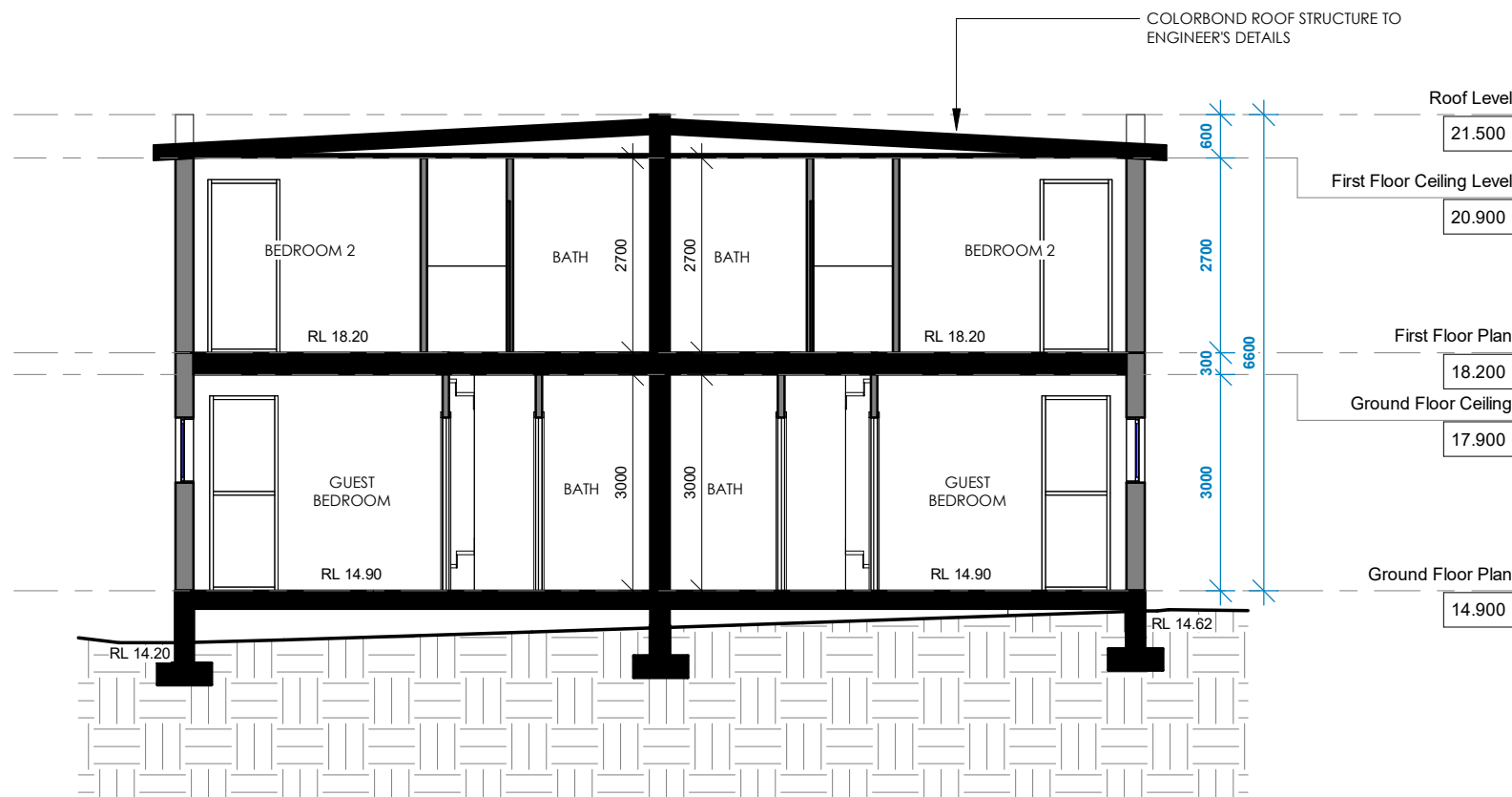


2 South East Elevation (Lot 2)
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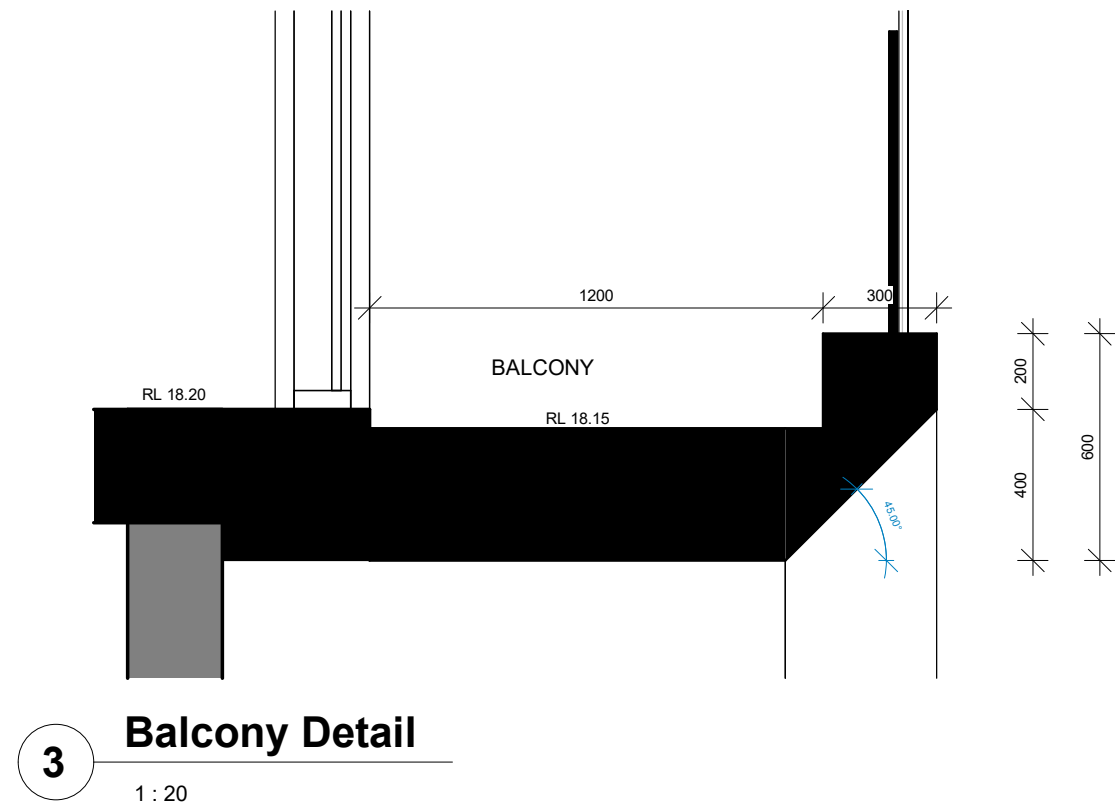
1 Long Section

1 : 120



2 Short Section

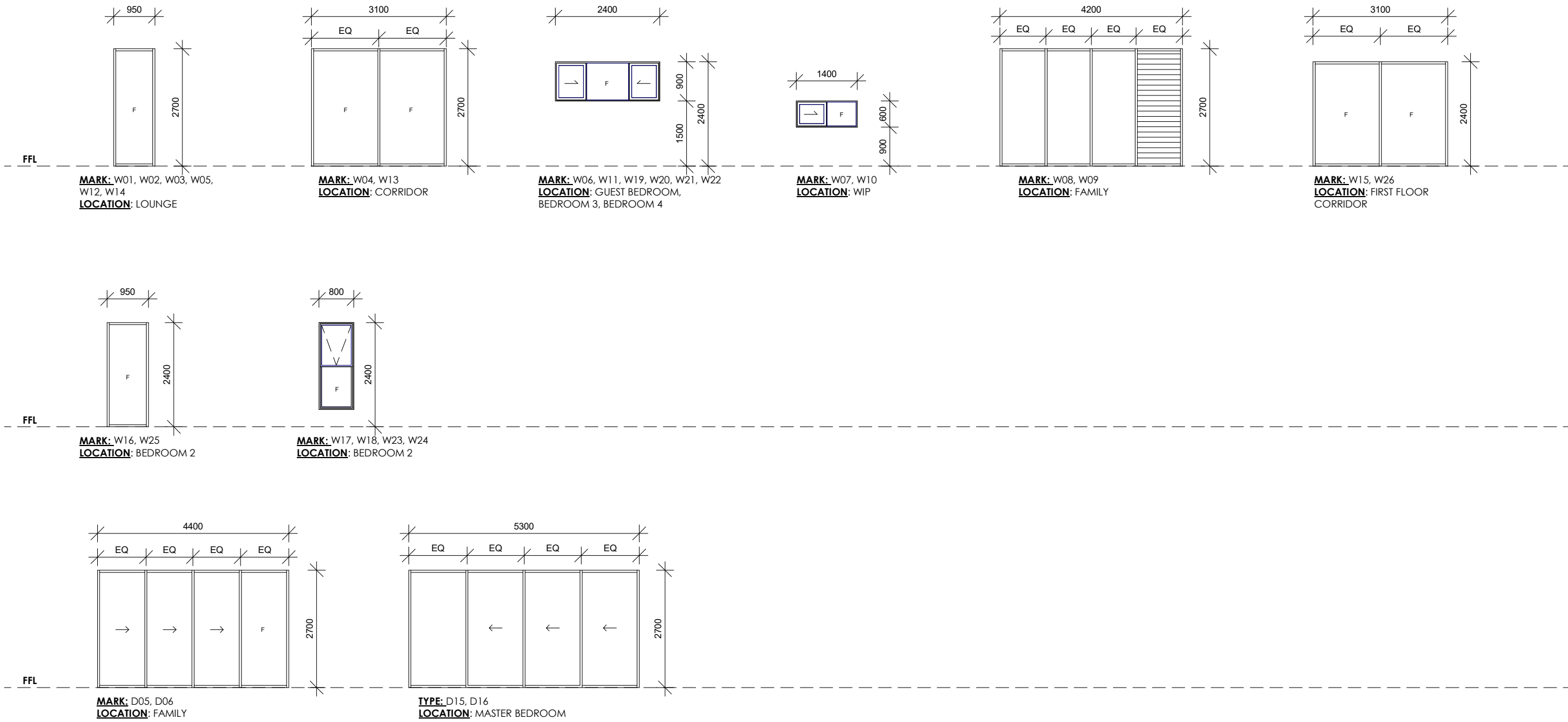
1 : 100



Window Schedule						
Mark	Width	Height	Sill Height	Type	Glazing	
W01	950	2700	0	Fixed Window	Clear	
W02	950	2700	0	Fixed Window	Clear	
W03	950	2700	0	Fixed Window	Clear	
W04	3100	2700	0	Fixed Window	Clear	
W05	950	2700	0	Fixed Window	Clear	
W06	2400	900	1500	Sliding Window	Clear	
W07	1400	600	900	Sliding Window	Clear	
W08	4200	2700	0	Fixed & Louvre Window	Clear	
W09	4200	2700	0	Fixed & Louvre Window	Clear	
W10	1400	600	900	Sliding Window	Clear	
W11	2400	900	1500	Sliding Window	Clear	
W12	950	2700	0	Fixed Window	Clear	
W13	3100	2700	0	Fixed Window	Clear	
W14	950	2700	0	Fixed Window	Clear	
W15	3100	2400	0	Fixed Window	Clear	
W16	950	2400	0	Fixed Window	Clear	
W17	800	2000	400	Awning Window	Clear	
W18	800	2000	400	Awning Window	Clear	
W19	2400	900	1500	Sliding Window	Clear	
W20	2400	900	1500	Sliding Window	Clear	
W21	2400	900	1500	Sliding Window	Clear	
W22	2400	900	1500	Sliding Window	Clear	
W23	800	2000	400	Awning Window	Clear	
W24	800	2000	400	Awning Window	Clear	
W25	950	2400	0	Fixed Window	Clear	
W26	3100	2400	0	Fixed Window	Clear	

Door Schedule				
Mark	Height	Width	Description	Finish
D01	2700	1200	Pivot Door	Solid Timber
D02	2400	3000	Garage Roller Door	Solid Timber
D03	2400	3000	Garage Roller Door	Solid Timber
D04	2700	1200	Pivot Door	Solid Timber
D05	2700	4400	Four Panel Stacker Door	Clear Glazing
D06	2700	4400	Four Panel Stacker Door	Clear Glazing
D07	2400	820	Flush Door	Solid Timber
D08	2400	820	Flush Door	Solid Timber
D09	2400	820	Flush Door	Solid Timber
D10	2400	820	Flush Door	Solid Timber
D11	2400	820	Flush Door	Solid Timber
D12	2400	820	Flush Door	Solid Timber
D13	2400	820	Flush Door	Solid Timber
D14	2400	820	Flush Door	Solid Timber
D15	2700	5300	Four Panel Stacker Door	Clear Glazing
D16	2700	5300	Four Panel Stacker Door	Clear Glazing
D17	2400	820	Flush Door	Solid Timber
D18	2400	820	Flush Door	Solid Timber
D19	2100	900	Pocket Sliding Door	Solid Timber
D20	2400	820	Flush Door	Solid Timber
D21	2400	820	Flush Door	Solid Timber
D22	2400	820	Flush Door	Solid Timber
D23	2400	820	Flush Door	Solid Timber
D24	2400	820	Flush Door	Solid Timber
D25	2100	900	Pocket Sliding Door	Solid Timber
D26	2400	820	Flush Door	Solid Timber
D27	2400	820	Flush Door	Solid Timber
D28	2400	820	Flush Door	Solid Timber
Grand total: 28				

GLAZING SCHEDULE



LEGEND

- F FIXED PANEL
- OB OBSCURE GLASS
- LV LOUVRE WINDOW
- SLIDING PANEL
- × FLUSH PANEL
- √ AWNING PANEL

GENERAL NOTES:

- EXACT OPENING & WINDOW SIZE TO MANUFACTURERS SPECIFICATIONS AND DETAILS.
- GLAZING & FRAMING TO COMPLY WITH BCA & RELEVANT AUSTRALIAN STANDARDS
- INSTALLATION TO MANUFACTURER'S RECOMMENDATIONS
- TO BE READ IN CONJUNCTIONS WITH PLANS
- COMPLIANCE CERTIFICATES TO BE PROVIDED BY WINDOWS MANUFACTURER.
- TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE
- ALL WINDOW FRAME SIZES, FLYSCREENS & GLASS TYPE TO BE CONFIRMED BY THE OWNER OR BUILDER.

- CHECK ALL WINDOW & DOOR OPENINGS ON SITE

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Date	20 DECEMBER 2024	Project no.	42/2024	Client	SUPERB ENTERPRISES
Revision no.	A	Checked by	AS	Drawing title	WINDOWS & DOOR SCHEDULE
				Scale	1 : 100 @ A2
				Drawing no	
PROPOSED ATTACHED DUAL OCCUPANCY					
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213					

WHITE RENDERED FINISH

FRAMELESS GLASS BALUSTRADE

TIMBER BATTENS

STONE CLADDING

CONCRETE RENDER

TIMBER LOOK CLADDING FOR
GARAGE AND ENTRY DOORS

WHITE RENDERED FINISH

TIMBER BATTENS

CONCRETE RENDER

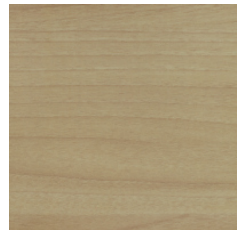
TIMBER LOOK CLADDING FOR
GARAGE AND ENTRY DOORS



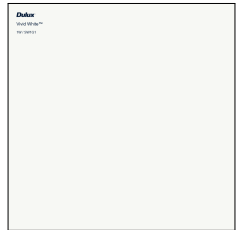
*PLANTS FOR ILLUSTRATION PURPOSES ONLY

SCHEDULE OF FINISHES

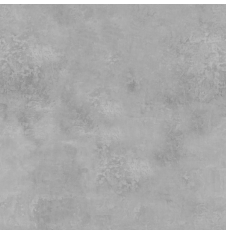
SUPPLIER: ALU SELEKTA
SQUARE BATTENS: 50 x 50 MM
COLOUR: TASMANIAN OAK



SUPPLIER: DULUX
NAME: VIVID WHITE
COLOUR: WHITE



SUPPLIER: ROCKCOTE
NAME: CONCRETE FINISH



SUPPLIER: ECO OUTDOOR
NAME: WILTON FREEFORM
OR EQUIVALENT



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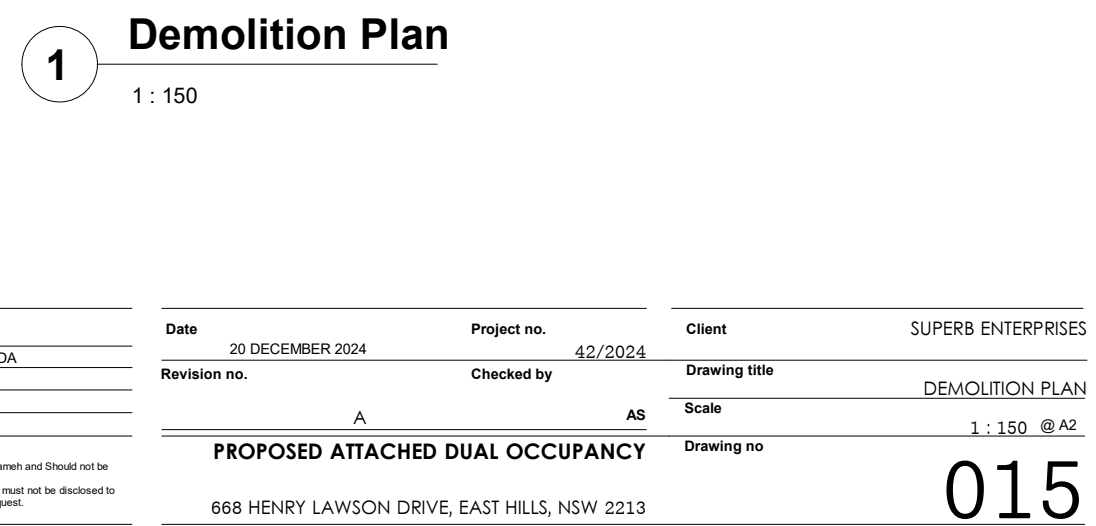
Date	Project no.	Client
20 DECEMBER 2024	42/2024	SUPERB ENTERPRISES
Revision no.	Checked by	Drawing title
A	AS	SCHEDULE OF COLOURS AND FINISHES
Scale	Drawing no	
1 : 100 @ A2		

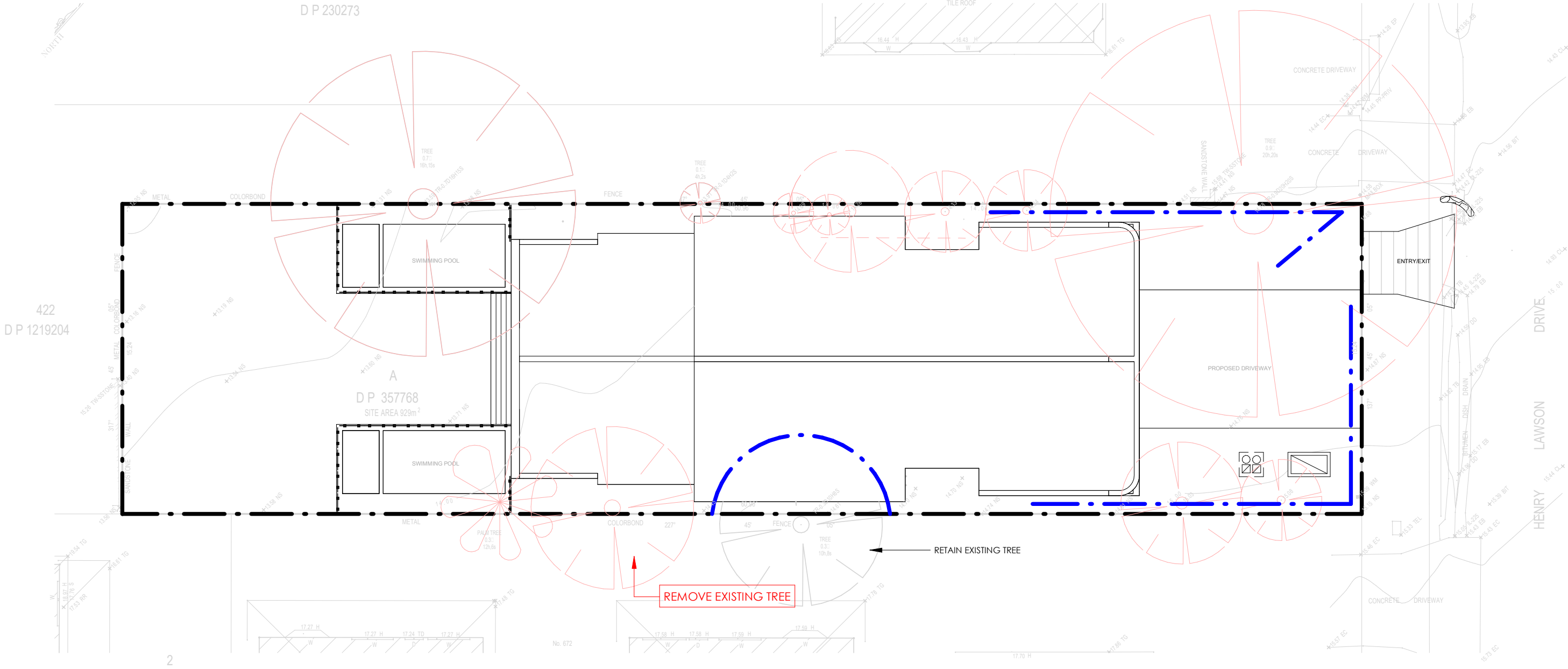
PROPOSED ATTACHED DUAL OCCUPANCY

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

013







1 Sediment Control & Waste

1 : 200

The sediment controls need to be in place prior to the commencement of building works. Remember that the sediment controls will need to be altered as construction occurs and the sites drainage patterns change.

DUST MANAGEMENT

Good sediment management can alleviate most of the dust problem. Some of the steps that can be taken to minimise dust include:

- Maintain as much vegetation as possible
- Cover materials and stockpiles
- Ensure that all equipment has dust suppressors fitted
- Dampen the site slightly during excavation or when dust is being raised. Be careful not to wet it to the point of creating polluted runoff.
- Ensure that vehicles only leave via the stabilised site access
- Minimise the amount of the site that is disturbed at any one time

WASTE MANAGEMENT CONTROL

Skip bins for wastes and recycling should be covered to prevent wind blowing waste off-site but also to prevent rain water from entering and being contaminated by the wastes. Cover the skip any time the site is unattended, over night, at weekends and when it is wet or windy. Provide continuous dust protection for any chutes and conveyors used to load the skip from roof or upper storeys. If skip bins are stored in public areas, notify neighbours and Council inspectors and ask for their help in stopping illegal use.

VEGETATION CONTROL

Install the 'no go' areas by fencing off these zones. Place red tape or other bright materials around trees and plants to be kept. Ensure staff and subcontractors know not to enter. As you finish earthworks in one part of the site, revegetate it or plant temporary crops like rye to prevent erosion. Revegetation should not be expected to provide complete erosion protection for a soil that is not stable due to its structure, texture or excessive slope. Erosion control matting should be used for revegetation areas on excessive slopes to provide interim protection until the vegetation cover can be fully established.

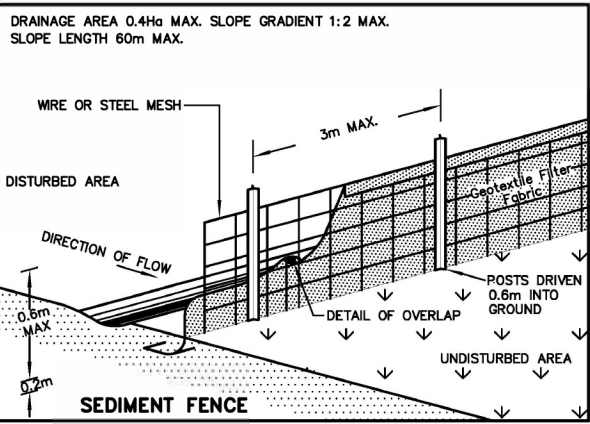
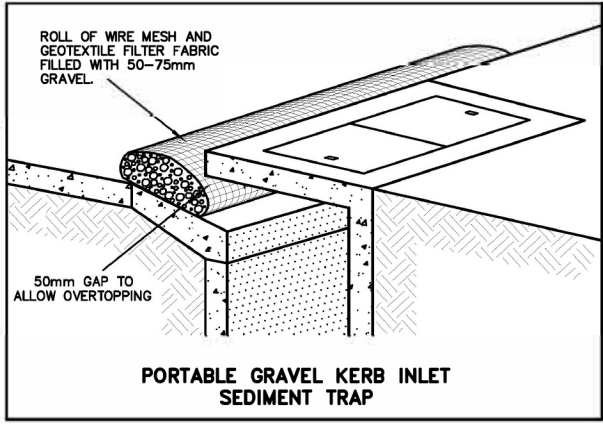
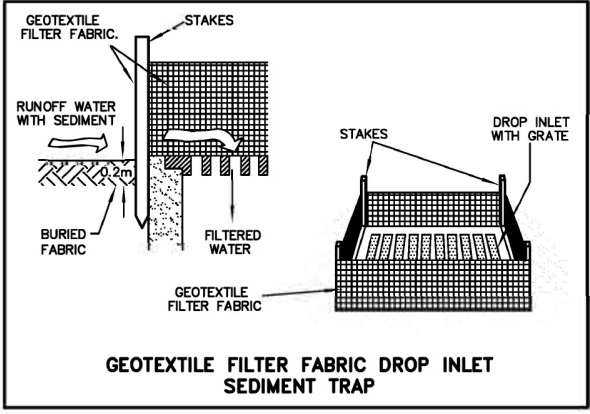
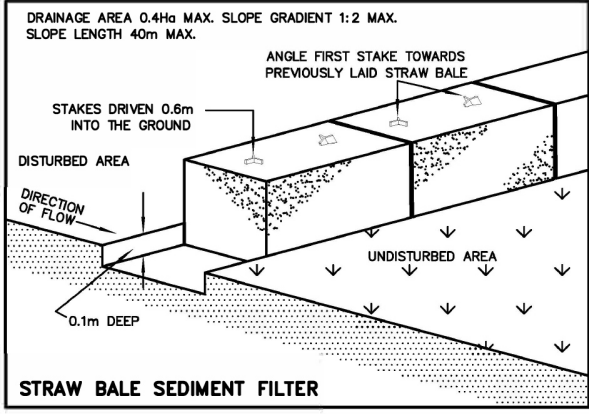
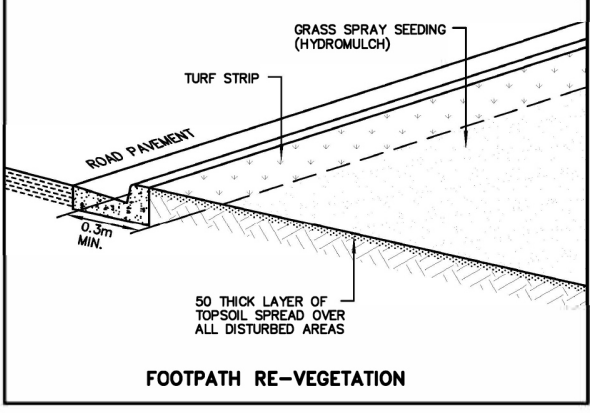
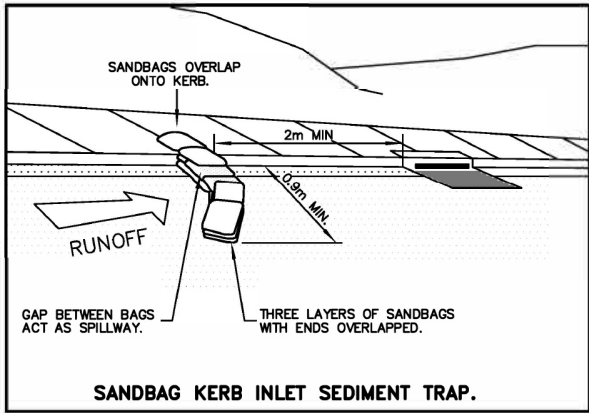
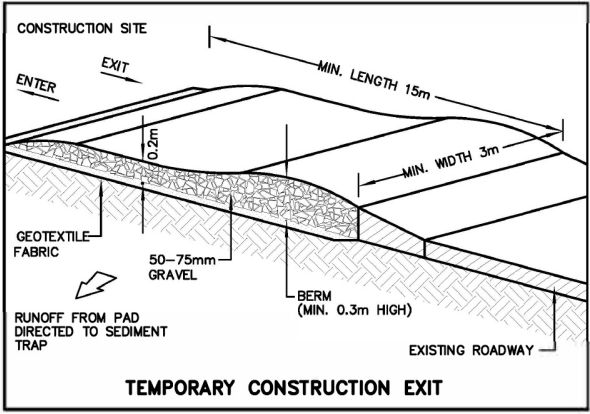
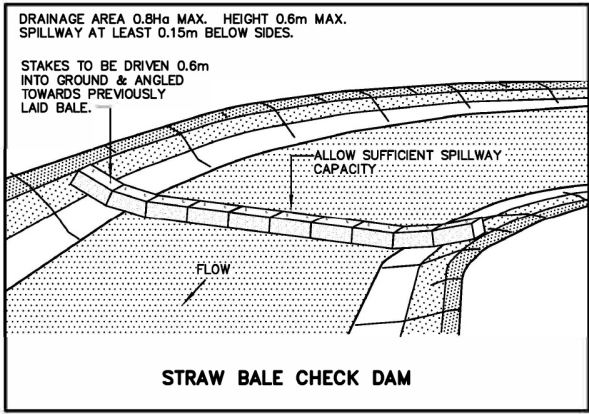
STOCK PILES

Locate stockpile away from stormwater flow paths, roads and hazard areas - ideally at least 5m away. Place on a level area as a low, flat, elongated mound. Where there is sufficient area topsoil stockpiles shall be less than 2m in height. Construct an earth bank on the upslope side to divert run off around the stockpile and a sediment fence 1 to 2 m downslope of the stockpile or sand bag, gravel sausage. Stockpiles should be covered during windy conditions, rain or unattended site periods. Once the roof has been installed on the frame, move stockpiles inside.

WASH BAY

The wash down area should have sediment controls around it and be large enough to hold all waste water generated. It should be clearly signposted to alert subcontractors and staff of their responsibilities. Minimise the amount of waste water generated by:

- Sweeping excess dirt and mud off equipment prior to washing.
- With Paint wastes- Spin the rollers and brushes to remove excess paint and return as much as possible to the original container for reuse. For water based paints- wash brushes in small amounts of water over newspaper. This will let the water soak through into the ground and keep the paint residue on the paper. The paper can then be placed in a solid waste bin or taken to a licensed solid waste transfer station. It is illegal to let paint and other liquid wastes contaminate the soil.
- For oil based paints- wash equipment in a series of solvent baths until clean. The solvent can be reused until it becomes saturated with paint. Solvent should be stored in air tight tins to prevent evaporation and disposed of to a licenced solid waste transfer station. It can not be placed in the bin or on the ground.



- LEGEND**
- GEOTEXTILE FABRIC FILLED WITH GRAVEL
 - SEDIMENT CONTROL & SAFETY SILT FENCE
 - DRIVEWAY HARDWOOD CROSSING
 - SKIP BIN
 - STOCKPILES

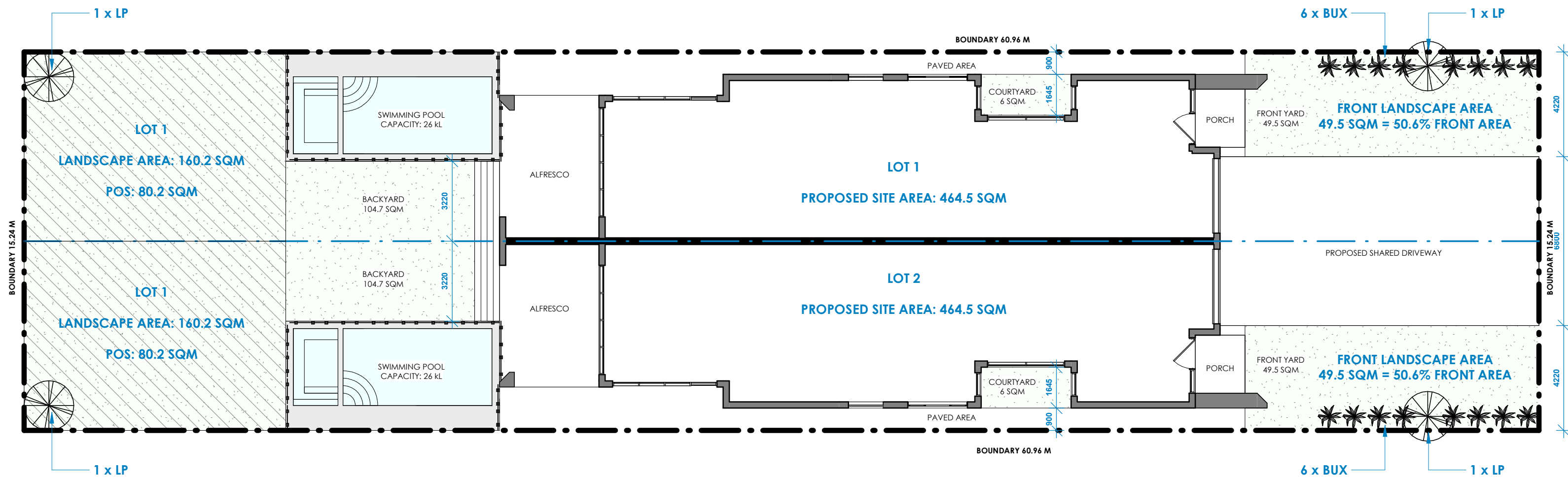
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Revision no.		Checked by		Drawing title	SEDIMENT CONTROL PLAN
	A	AS		Scale	1 : 200 @ A2
				Drawing no	
PROPOSED ATTACHED DUAL OCCUPANCY					
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213					



1 Landscape Plan

1 : 150

SYMBOL	BOTANIC NAME	COMMON NAME	WIDTH - m	HEIGHT - m	POT SIZE - mm	NUMBER	COLOUR
BUX	BUXUS	BUXUS	0.5m	0.5m	200mm	12	N/A
LP	ACMENA SMITHII	LILLY PILLY	6 m	8 - 10m	75 L	4	MIX

PROPOSED TREE :
All tree planting holes are to be excavated 200mm wider and at least 200mm deeper than the rootball size. All trees are to be double staked and secured with hessian ties in figure eight arrangement.

Apply 150mm layer of topsoil to all turf areas laid over deep soil. Prior to laying turf, contractor to ensure all topsoiled areas are smoothly graded with no surface depressions or other irregularities. large stones or building debris turf used for this site shall be cultivated. Unless specified otherwise, turf shall be laid flush with adjoinement finished surface levels.

PLANT MATERIAL:
All plants to be healthy and well developed without being root bound and disease free.

GARDEN BED/ MULCH:
The topsoil to all garden bed areas shall be 1 part site topsoil and 2 parts organic compost thoroughly mixed together prior to placing into position. Where the site topsoil is not suitable imported topsoil meeting the requirements of AS4419-1998 shall be used. Topsoil depth to all garden bed areas to be garden mix 300mm deep.

Mulch consisting of pine bark is to be spread over all planter beds to a depth of 100mm. Reduce depth of mulch around base of plants to form 'watering dish' to facilitate watering.

MAINTENANCE:
Maintain all landscape areas to ensure plant health and occupant safety for a period of 12 months beginning from date of practical completion to the satisfaction of council. Maintenance will include but not limited to the following activities, mowing, edging, pruning and top dressing of turf areas also all plants to be fed slow release fertilizer according to manufacturer's recommendations. regular ongoing observation and maintenance is required.

IRRIGATION:
Provide one housecock in the front and rear landscape of each unit or the installation of automatic/manual water system as owner chooses.

USE EITHER DAMPPAST OR PLASTIC WATER PROOFING LINERS AS A WATER PROOFING ALSO USE ABOVE WHERE GARDEN BED COME IN CONTACT WITH BRICKWORK

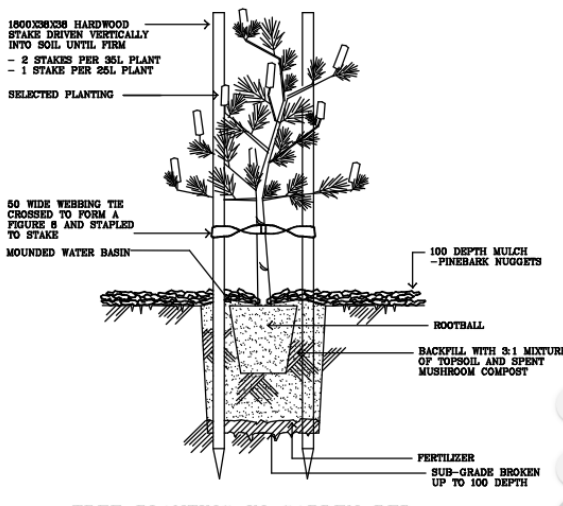
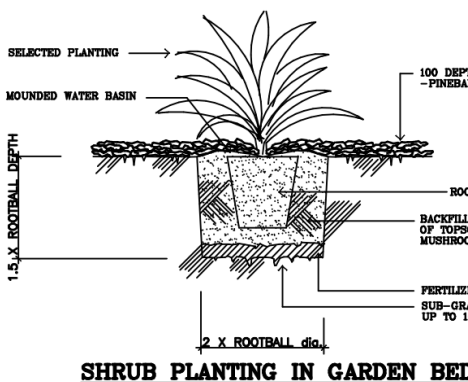
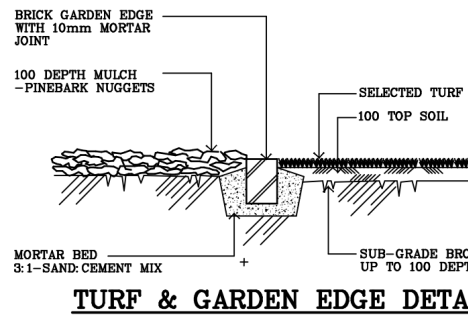
GARDEN BED EDGING:
No chemically treated timber edging to be used.

PAVING:
All pavement areas including driveways and pathways are to have a stenciled concrete finish. All pavement surfaces to comply with the requirements of AS/NZ 3661.1 1993 Slip resistance of pedestrian surfaces.

DISCREPANCIES:
Should there be any discrepancies on the drawings and or on site, landscaping contractor to notify the superintendent for resolution prior to the commencement of the works. Where the situation is not readily resolved onsite, the superintendent is to notify the landscape planner immediately for correction.

STANDARDS:
All materials and standards of workmanship used on this project is to comply with the latest revision of the relevant Australian Standards.

EXCAVATIONS:
Any services drawn on the plan have been indicatively located. Further services may be present prior to any construction or excavation on site. The relevant authorities should be contacted for possible location of further ground services and detailed of all services.



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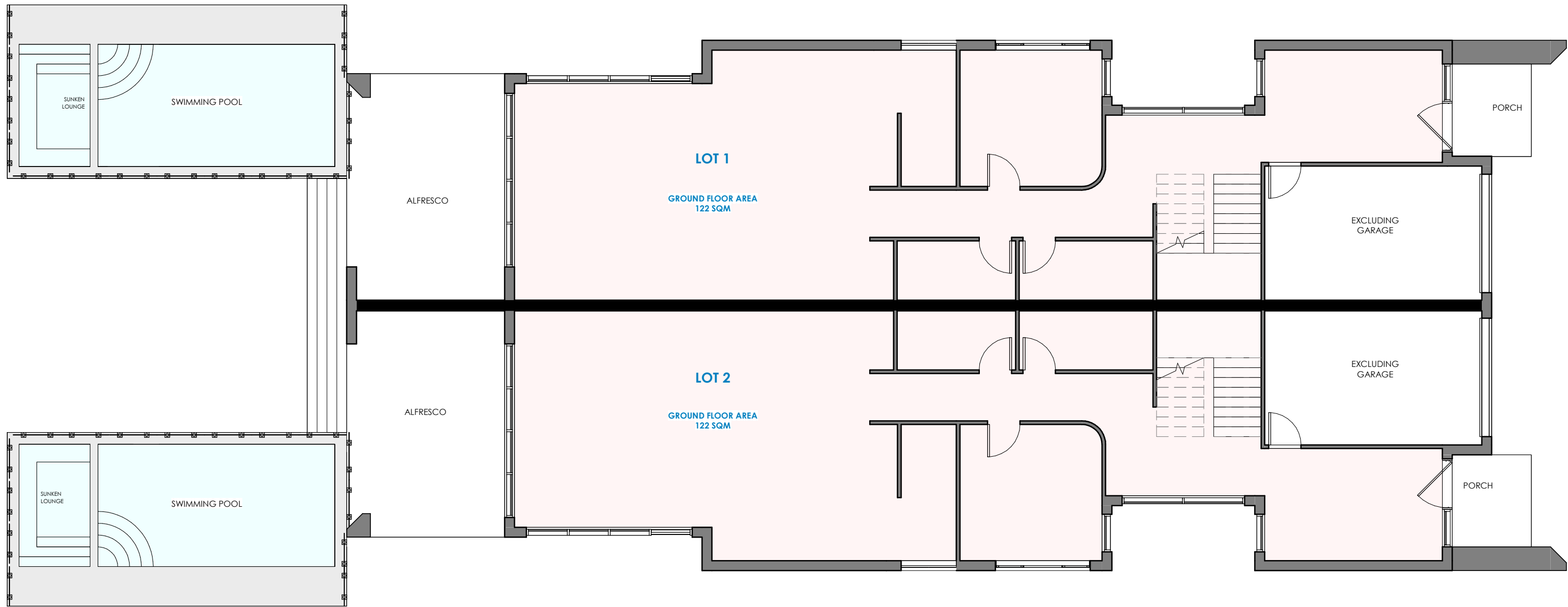
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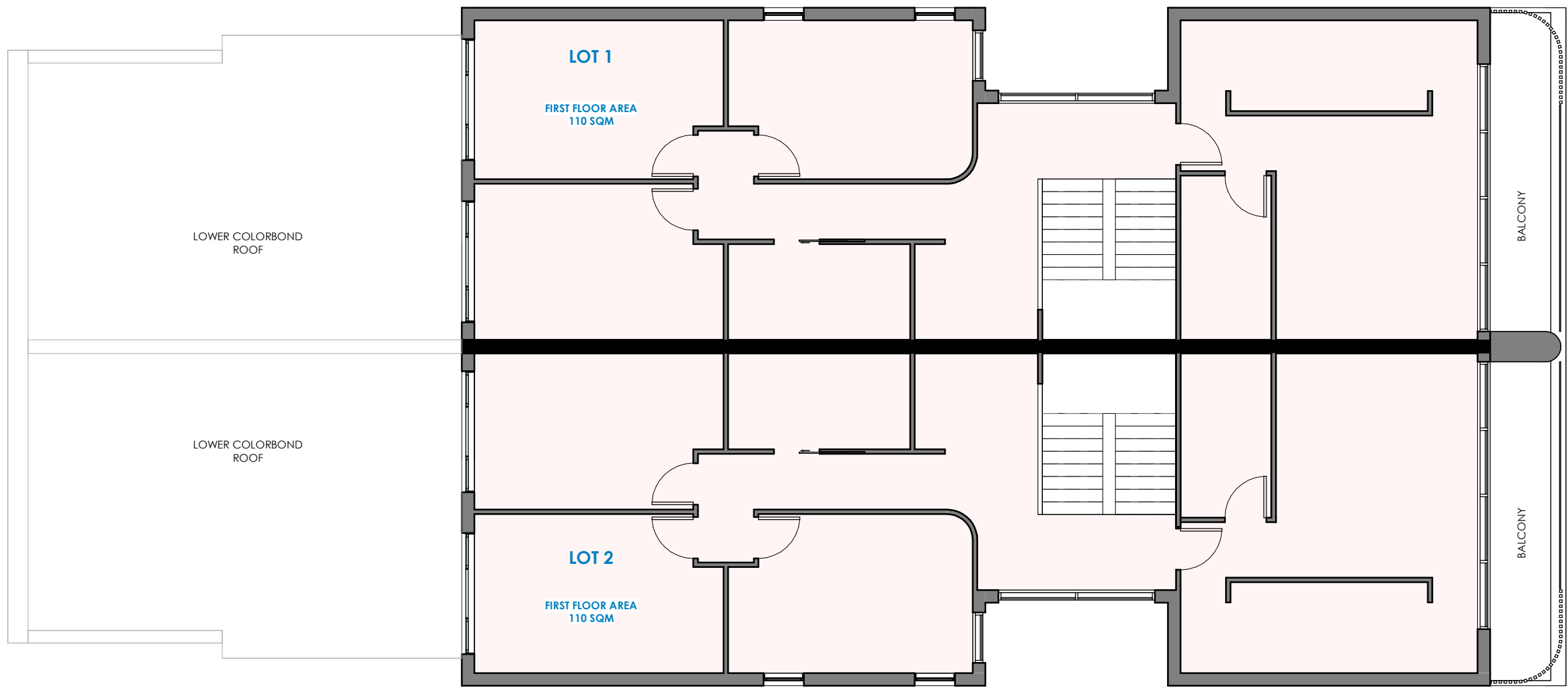
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Revision no.		Checked by	
	A	AS	
PROPOSED ATTACHED DUAL OCCUPANCY			
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213			

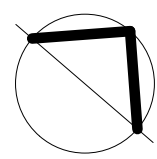
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Drawing title	LANDSCAPE CALCULATIONS
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Drawing no	indicated



1 Ground Floor FSR
1 : 100



2 First Floor Plan FSR
1 : 100



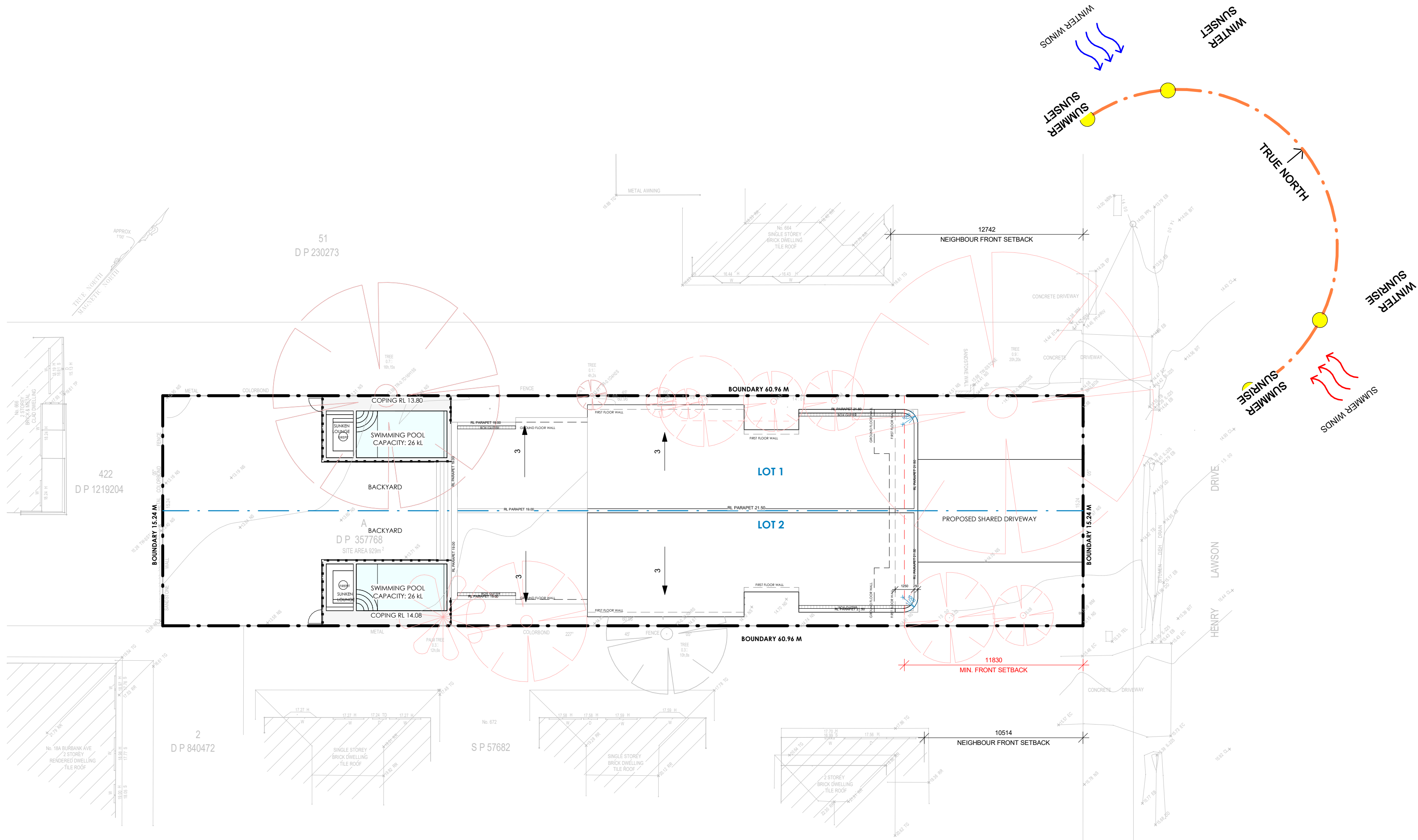
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m_0423 908 060
info@dezcon.net
www.dezcon.net.au

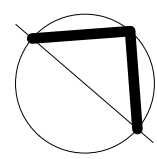
Approved By A Salameh
B.Des.Architecture | M.Architecture at UTS
BDAA 6523

NO.	Date	Revision
A	18.12.2024	ISSUE FOR DA
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Date	Project no.	Client
20 DECEMBER 2024	42/2024	SUPERB ENTERPRISES
Revision no.	Checked by	Drawing title
A	AS	FSR CALCULATIONS
PROPOSED ATTACHED DUAL OCCUPANCY		Scale
		1 : 100 @ A2
668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213		



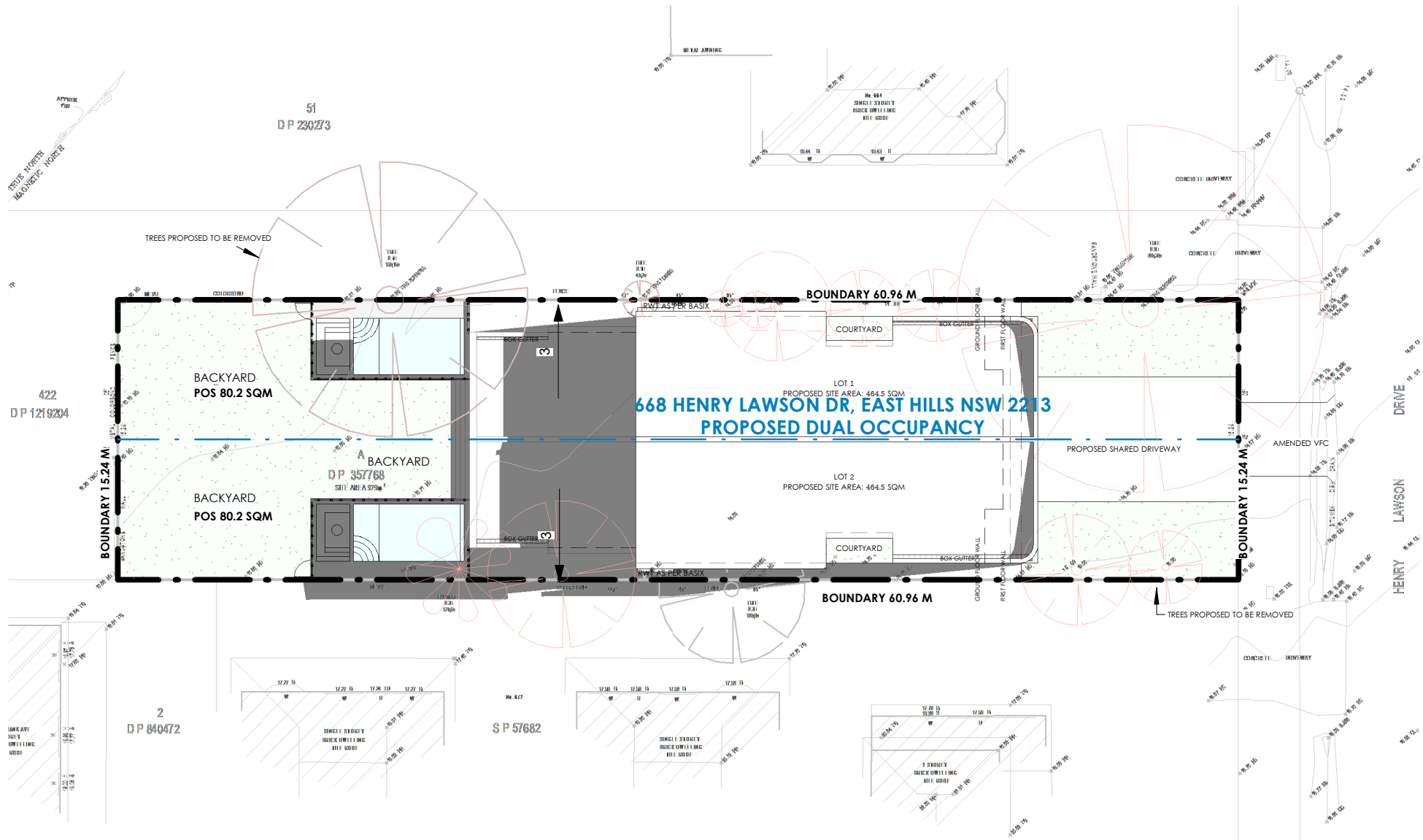
1 Site Plan
1 : 200



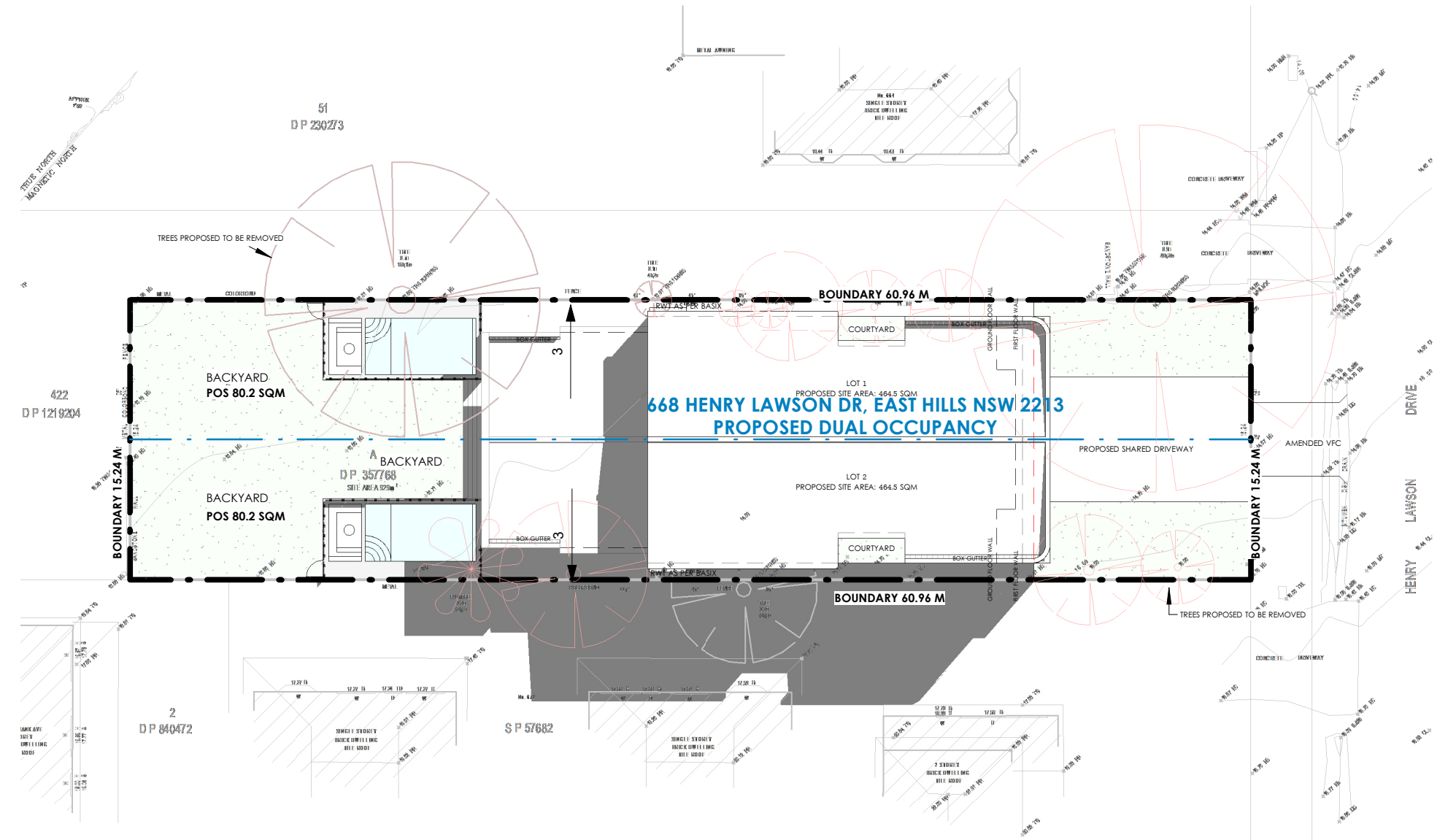
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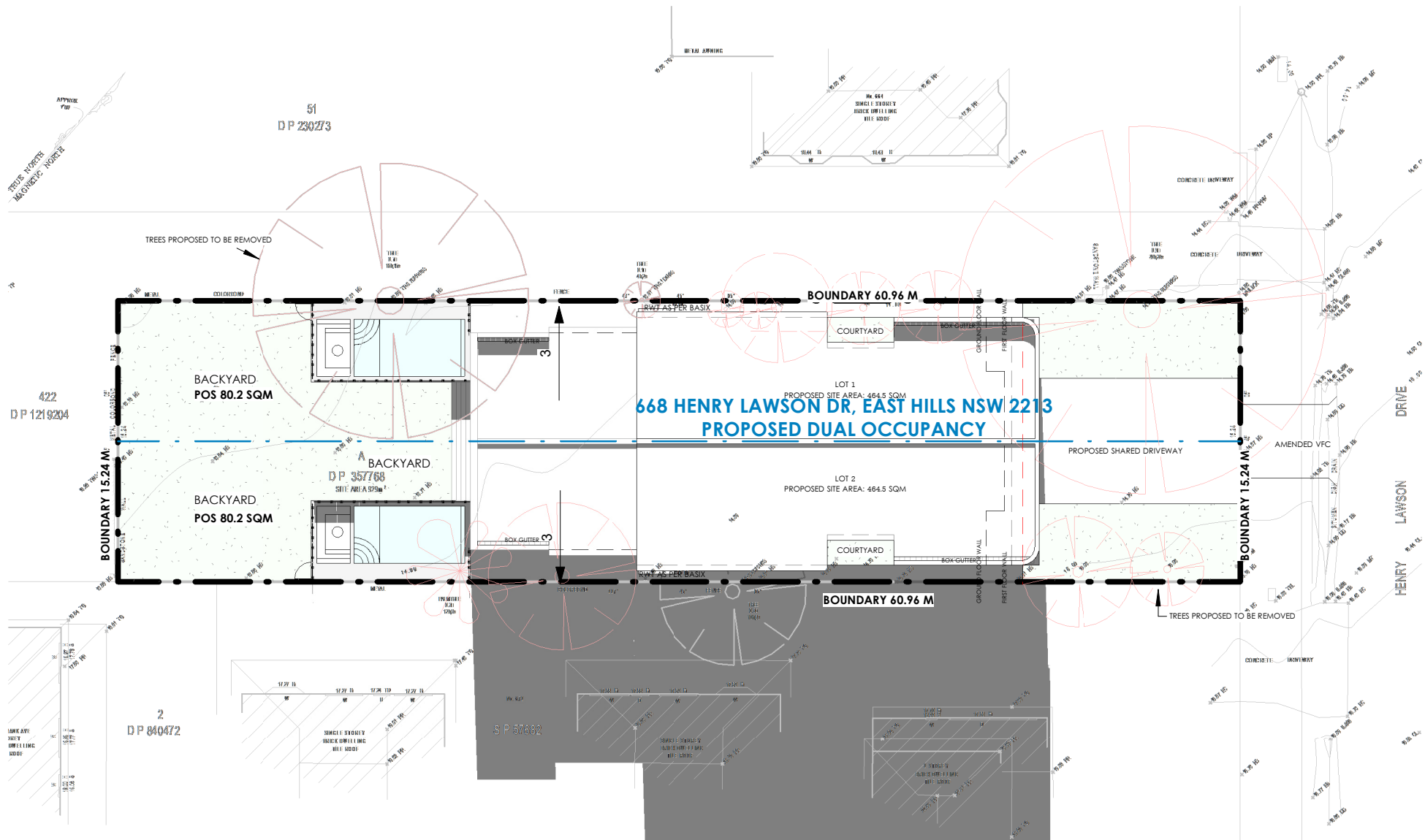
Date	Project no.	Client
20 DECEMBER 2024	42/2024	SUPERB ENTERPRISES
Revision no.	Checked by	Drawing title
A	AS	SITE ANALYSIS PLAN
Scale	Drawing no	
1 : 200 @ A2		



1 Winter 9am
1 : 300



2 Winter 12pm
1 : 300



3 Winter 3pm
1 : 300

