668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

Lot A, DP 357768

LGA: CANTERBURY BANSKTOWN COUNCIL

Sheet List

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000	COVER PAGE
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007	SWIMMING POOL DETAILS
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013	SCHEDULE OF COLOURS AND FINISHES
014	3D ELEVATION VIEWS
015	DEMOLITION PLAN
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018	FSR CALCULATIONS
019	SITE ANALYSIS PLAN
020	WINTER SHADOW DIAGRAM
021	NEIGHBOUR NOTIFICATION

BUILDING SPECIFICATIONS & FIRE SAFTEY:

- BullDING SPECIFICATIONS & FIRE SAFTEY:
 General Requirements
 Window sizes are approximate and are to be verified on site prior to fabrication.
 All glass thickness to be suitable to current glazing code.
 All frames to windows shall be selected powdercoat aluminum.
 All windows to comply with current wind loads.
 All windows and doors to be complete with weather strips, trims, deadlocks and fly screens to match.
 Do not scale window openings off drawings.
 All steelwork to be hot dipped glavanised as specified by engineer.
 Steelwork 3 fier point system 2 pack epoxy system 1. waterproof / hardener; 2. primer / hardener; 3. colour / hardener.
 Expansion joints in brickwork to engineering details.
 All mortar and brickwork to be salt resistant.
 All DA conditions to be complied with.
 Provide falls in all areas to achieve adequate drainage required to outlets.Builder to provide topping to ensure acceptance by structural and hydraulic engineers.
 Waterproofing to all areas to be suitable for purpose. All waterproofing to be confirmed by appointed hydraulic consultant.
 All warranties and guarantees to be provided for all waterproofing.
 Painting to A52311, builder to discuss and confirm all paint systems and applications with client prior to any work commencing.
 All glass bulstrades to comply with Australian Standards, shop drawings to be provided for approval prior to any fabrication. To be confirmed by structural engineer.
 Exposed timber to be selected by builder. All timbers to be suitable for outdoor exposure.
 Exposed timber to bies to comply with BCA/NCC requirements.Builder to appoint an acoustic engineer to provide specialist advice

- Sound transmission and insulation builder to achieve BCA/NCC compliance for sound rating in accordance with relevant BCA/NCC. Service ducts and pipes to comply with BCA/NCC requirements.Builder to appoint an acoustic engineer to provide specialist advice for strict compliance. All service ducts/rises/penetrations to be fully sound and fire rated to BCA/NCC and Australian standard requirements. Mechanical ventilation zones to be constructed in compliance with Part 3.8.5 Ventilation of the BCA/NCC. Builder to provide full certificate of roofing material used and warranty of supply and installation. All steel lintels to be fire rated. Smoke seals in accordance with BCA/NCC and Australia standards. <Fire seperation to all floor and cavities in accordance to BCA/NCC. "Homeguard" termite management barriers to be used to cover all aspects of termite protection to comply with AS 3660.1 Glazing to sliding doors and areas subject to potential human impact to comply with Part 3.6 Glazing of the BCA/NCC. Full compliance with BCA/NCC. Builder and all trades must register and obtain relevant information from "dial before you dig" <</td> •

- commencing works. Steelwork 3 tier paint system 2 pack epoxy syste. 1. waterproof/hardner 2. primer/hardner 3. colour/hardner. •

All Standards and Codes including but not limited to the BCA/ NCC and any referenced AS/NZS standard to apply and be conformed with as required.



		NO.	Date 18.12.2024	Revision ISSUE FOR DA	Date 20 DECE	Project no. MBER 2024 42/2024	Client	SUPERB ENTERPRISES
			10.12.2024		Revision no.	Checked by	Drawing title	COVER PAGE
	dezcon					A AS	Scale	@ A2
m_ 0423 908 060	Approved By A Salameh	These dra reproduce	d either in part or whole v		PROPOS	SED ATTACHED DUAL OCCUPANCY	Drawing no	000
info@dezcon.net www.dezcon.net.au	B.Des.Architecture M.Architecture at UTS BDAA 6523			rded as confidential and must not be disclosed to st be retuyrned upon request.	668 HENR	RY LAWSON DRIVE, EAST HILLS, NSW 2213		000

BASIX Certificate

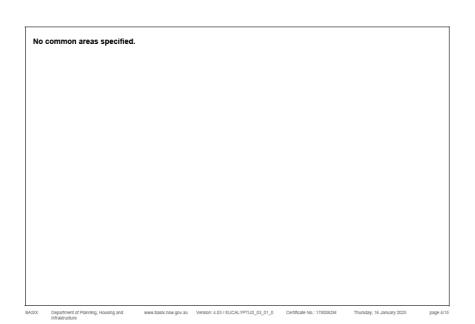
Multi Dwelling

Certificate number: 1780062M

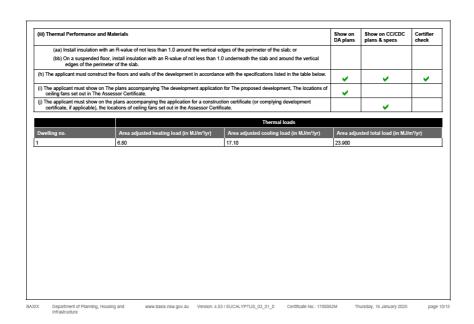
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitme have the meaning given by the document entitled "BASIX Definitions" dated have the meaning given by the www.basix.nsw.gov.au Secretary Date of issue: Thursday, 10 January 2025 To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue. NSW NSW

Project name	668 Henry	
Street address	668 HENRY LAWSON DRIVE	EAST HILLS 221
Local Government Area	CANTERBURY-BANKSTOWN	
Plan type and plan number	Deposited Plan 357768	
Lot No.	A	
Section no.	-	
No. of residential flat buildings	0	
Residential flat buildings: no. of dwellings	0	
Multi-dwelling housing: no. of dwellings	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 40	Target 40
Thermal Performance	V Pass	Target Pa
Energy	✓ 72	Target 72
Materials	✓ -63	Target n/a

			Certificate	Certificate Prepared by			
			Name / Compa	ny Name: PEREZ ARCHITEC	TURAL SERVICES PTY LTD		
			ABN (if applica	ble): 40638145507			
BASIX	Department of Planning, Housing and Infrastructure	www.basix.nsw.gov.au	Version: 4.03 / EUCALYPTUS_03_01_0	Certificate No.: 1780062M	Thursday, 16 January 2025	page 1/1	



			Fixture	5		Appi	liances		Indiv	idual po	bl			Individual s	ipa
Dwelling no.	All shower- heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish- washers	Volume (max volume)	Pool cover	Pool locatio		'ool haded	Volume (max volume	cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 L/min)	3 star	3 star	3 star	-	-	-	26	no	outdoor	s n	,	-	-	-
							Alternat	ive water sou	Irce						
Dwelling		mative wat bly systems		Size	Configur	ation			Landso	tion c	oilet onneci 5)		ndry nection	Pool top- up	Spa top-u
All dwelling	gs Indivi 1)	dual water t	ank (No.	Tank size (min) 1500 liters	70 square 0 square 0 square	metres of gar		area; and	yes	ye	is	yes		no	no
(ii) Energ												Show on DA plans		v on CC/CDC s & specs	Certifier check
(b) The ap suppli	oplicant mus	t install eac	h hot wate table spe	er system spe cifies a centr	ed below in car cified for the d al hot water sys hot water is su	welling in the stem for the d	table below, s swelling, then	so that the dw the applicant	velling's ho	ot water is		~		~	~
					and laundry of nave the operat				cified for t	hat room	in			~	~
headir coolin such a	ngs of the "C g or heating	Cooling" and system is s term "zoned	l "Heating" pecified in d" is specif	columns in the table for	stem/s specifie he table below, "Living areas" h air conditionin	in/for at leas or "Bedroom	areas", then i	oom area of t no systems m	the dwellin ay be inst	ng. If no alled in a	ny			~	~
the tal	ble below (b g" for each s	ut only to th such room in ticular room	e extent s n the dwel n or area, t	pecified for th ling is fluores hen the light	dwelling which hat room or area cent lighting or fittings in that ro	a). The applic light emitting	cant must ens diode (LED)	ure that the "p lighting. If the	orimary ty term "der	pe of artif dicated" i	icial 5			~	~



Project address		Common area landscape	_		
Project name	668 Henry	Common area lawn (m²)	0		
Street address	668 HENRY LAWSON DRIVE EAST HILLS 2213	Common area garden (m²)	0		
Local Government Area	CANTERBURY-BANKSTOWN	Area of indigenous or low water use species (m ²)	0		
Plan type and plan number	Deposited Plan 357768	Assessor details and them		ada	
Lot No.	Α				
Section no.	-	Assessor number	1015		
Project type		Certificate number		NKDD873	
No. of residential flat buildings	0	Climate zone	56		
Residential flat buildings: no. of dwellings	0	Project score			
Multi-dwelling housing: no. of dwellings	2	Water	~	40	Target 4
No. of single dwelling houses	0	Thermal Performance		Pass	Target F
Site details		-	+		
Site area (m²)	929	Energy	~	72	Target 7
Roof area (m ³)	280	Materials			
Non-residential floor area (m ³)	-	Materials	1 *	-63	Target n
Residential car spaces	2				
Non-residential car spaces					



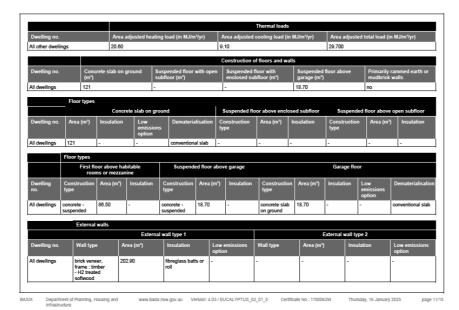
Commitments for multi-dwelling housing

(a) Dwellings (i) Water (ii) Energy (iii) Thermal Performance and Materials

ments for common areas and central systems/facilities for the development (non-building specif (b) Common areas and central systems/facilities (i) Water (ii) Energy

Show on DA plans Show on CC/CDC Certifier check (ii) Energy f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylpht.
g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: Image: A set of the ✓ (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a time, to control the pool's pump, and (bb) install the system specified for the spain the "Individual Spain" column of the table below (or alternatively must not install any system for the spain. If specified, the applicant must install a timer to control the spai's pump. The unit of the spain the "Individual Spain" column is the spain specified must install a timer to control the spain spump. Image: A set of the **~** The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below: Image: A set of the (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and **~** ~ (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. **~** ecified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well version and the second se I ✓ ✓ Hot water Bathroom ventilation system Kitchen ventilation system Laundry ventilation system eous - 6 individual fan, ducted interlocked to light with individual fan, ducted manual switch on/off individual fan, ducted to façade or roof Cooling Heating Natural lighting iving areas bedroom areas living areas bedroom areas
 ellings
 1-phase airconditioning -ducted / EER 3.0 - 3.5
 1-phase airconditioning -ducted / EER 3.5 - 4.0
 1-phase airconditioning -ducted / EER 3.5 - 4.0
 1-phase airconditioning -ducted / EER 3.5 - 4.0
 dwellings BASIX Department of Planning, Housing and www.basik.now.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1780062M Thursday, 16 January 2025 page 815 Infrastructure

BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1760062M Thursday, 16 January 2025 page 515 Intraducture



Description of project The tables below describe the dwellings and common areas within the project Multi-dwelling houses			
The set of the s			
BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No:: 11 Intrastructure	780D62M	Thursday, 16 Ja	uary 2025
Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development certificate issued, for the proposed development, that BASIX commitments be compiled with. 1. Commitments for multi-dwelling housing	iopment con	sent granted, o	complying
(a) Dwellings			

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	~
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		v	~
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	~
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		×	
(g) The pool or spa must be located as specified in the table.	~	×	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	~	~

BASIX Department of Planning, Housing and www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1780062M Thursday, 16 January 2025 page 6/15 Intradiculture

									ncy measures	
Dwelling no.	Pool heating system	Pool Pump	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Dishwasher	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
dl Iwellings	no heating	not specified	yes	-	-	gas cooktop & electric oven	-	-	no	yes
						Alternative energy	ах			
Dwelling n	Photovoltaic system (min rated electrical output in peak kW)					ation	Orientatio	n inputs		
	between >0° to <=10° degree to the horizontal 3							NW		
ll other dw	other dwellings							-		
(al Performance and	Materials						Show on	Show on CC/CDC	Certifier
(iii) i herm	arr enormance and	maicriais						DA plans	plans & specs	check
(a) The ap "Asses the app	plicant must attach th sor Certificate") to the plicant is applying for	ne certificate referred t e development applica a complying developm sor Certificate to the ap	tion and cons nent certificate	truction certificate a	application for development, t	the proposed devek to that application). 1	te (the opment (or, if The applicant	DA plans	plans & specs	check
(a) The ap "Asses the app must a	plicant must attach th sor Certificate") to th plicant is applying for lso attach the Assess	ne certificate referred t e development applica a complying developn	tion and cons nent certificate oplication for a	truction certificate a e for the proposed o a final occupation o	application for development, t ertificate for th	the proposed develor to that application). The proposed develop	te (the opment (or, if The applicant ment.	DA plans	plans & specs	check
(a) The ap "Asses the app must al (b) The As (c) The del	plicant must attach th sor Certificate') to th plicant is applying for lso attach the Assess sessor Certificate mu tails of the proposed	e certificate referred t e development applica a complying developm sor Certificate to the ap	tion and cons nent certificate oplication for a by an Accredit ssessor Certif	struction certificate a e for the proposed of a final occupation of ed Assessor in acc ficate must be cons	application for development, t ertificate for th ordance with t	the proposed develor to that application). T e proposed develop the Thermal Comfort	te (the opment (or, if The applicant ment. t Protocol.	DA plans	plans & specs	check
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(a) The ap "Asses the ap must al (b) The As (c) The del <u>Certific</u> (d) The ap certific develop (f) The app Certific	picant must attach the orcertificate") to the oicant is applying for iso attach the Assess sessor Certificate nu, tails of the proposed ate, including the det picant must show on picant must show on ate. if applicable), all pinet which were us picant must construct	the certificate referred to e development applica a complying developm for Certificate to the ap state to the second second development on the A tails shown in the "The development on the A tails shown in the "The the plans accompany tify that this is the case the plans accompany themal performance to the plans accompany	tion and cons nent certificate oplication for a sysessor Certi rmal Loads" t ing the develop ing the develop ting the applic specifications specifications.	truction certificate for the proposed (final occupation or ed Assessor in acc ficate must be cons able below. opment application ans. Those plans m ation for a construc set out in the Asse: th h all thermal perfor	application for development, t ertificate for th ordance with t istent with the for the propos nust bear a sta ction certificate ssor Certificate	the proposed develop to that application). 1: e proposed develop the Thermal Comfort details shown in this and development, all imp of endorsement e, or complying deve e, and all aspects of cations set out in the	te (the opment (or, if The applicant ment. Protocol. s BASIX matters which from the lopment the proposed e Assessor			check

	External walls												
		Extern	al wall type 3							External v	vall typ	pe 4	
Dwelling no.	Wall type	Area (m²)	Insulation		Low emis	sions	Wali ty	pe	Area	(m²)	Insul	lation	Low emissions option
All dwellings	-	-	-		-		-		-		-		-
	Internal walls												
Internal walls shared with garage					Internal wall type 1 Internal wall type 2					pe 2			
Dwelling no.	Wall type	Area (m²)	Insulation	Wall	type	Area (n	n²)	Insulatio	n	Wall type		Area (m²)	Insulation
All dwellings	plasterboard, frame: timber - H2 treated softwood	23.70	fibreglass batts or roll	frame	erboard, c timber reated ood	110.50		-		-	-		-
	Ceiling and roof												
	•	ceiling / pitched r	oof		Raked cei	lina / pita	hed or s	killion roof	ł		Flat	t ceiling / flat	roof
Dwelling no.	Construction type	Area (m²)	Insulation	Cons type	struction	Area (n	n²)	Insulatio	n	Construction type	on i	Area (m²)	Insulation
All dwellings			Ceiling:,Roof:	-		-		Ceiling:,R	oof:	framed - metal roof, frame: timbe - H2 treated softwood		140	Ceiling:fibregl batts or roll,Roof: foil backed blank
		Glazing ty							-				
										rame types			
Dwelling no.	Single glazing (m²)	g Double glaz (m²)	ing Triple gla (m²)	zing	Alumini frames		(m²)	er frames	uP\ (m ²)	/C frames	Stee (m²)	el frames)	Composite frames (m²)
1	73.83	-	-		73.83		-				-		-
All other dwellings	56.94	16.88	-		73.82		-		-		-		-

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dezcon

Approved By A Salameh B.Des.Architecture | M.Architecture at UTS BDAA 6523

SITE CALCULATIONS	CRITERIA	PROPOSE
TOTAL SITE AREA	400 m ²	929 m ²
ZONE	-	R2
MAX FSR	0.5:1	
	=464.5 m ²	464 m ²
MAX BUILDING HEIGHT	9 m	7.455 m
LANDSCAPING		
FRONT LANDSCAPE	45%	50.6%
PROPOSED LOT 01		
GROUND FLOOR AREA	-	122 m ²
FIRST FLOOR AREA	-	110 m ²
TOTAL FSR	-	232 m ²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	7700 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m ²	80.2 m ²
PROPOSED LOT 02		
GROUND FLOOR AREA	-	122m ²
FIRST FLOOR AREA	-	110 m ²
TOTAL FSR	-	232 m ²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	19130 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m ²	80.2 m ²

BUILDING SPECIFICATIONS

- DOUBLE BRICK PARTITION WALL TO FLL 60/60/60
- BRICK VENEER FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
- TIMBER STUD WALLS FOR ALL INTERIOR WALLS
- CONCRETE SLAB FOR GROUND FLOOR
- SUSPENDED LIGHTWEIGHT FLOOR FOR FIRST FLOOR
- TIMBER FRAMED COLORBOND ROOF

GENERAL NOTES

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT ROOF SHEETING AND ROOF TILES
 ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES
- SELECT FINISH TO TIMBER LOUVERS

- DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH
 SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS
 ALUMINIUM POWDER COATED FRAMING TO GLAZED WINDOWS - ALUMINIUM POWDER COATED BI-FOLD DOORS WITH SELCT GLAZING
- ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT GLAZING
- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR
- SELECT GLAZING TO BALCONY BALUSTRADING

- REINFORCED CONCRETE V COLOUMN SELECT FINISH TO ROLLER SHUTTER DOORS PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS
- PROVIDE SELECT FLOOR FINISH - RC. SLAB, FOOTINGS AND BEAMS
- REFER TO BASIX REPORT FOR THERMAL, GLAZING AND WATER
- COMMITMENTS
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS

Project no.	Client	SUPERB ENTERPRISES
42/2024		
Checked by	Drawing title	
-		SITE SPECIFICATIONS
۵۵	Scale	
	-	1:100 @A2
IED DUAL OCCUPANCY	 Drawing no 	
DRIVE, EAST HILLS, NSW 2213	1	UUT
	42/2024 Checked by AS	42/2024 Checked by Drawing title AS Scale

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Revision

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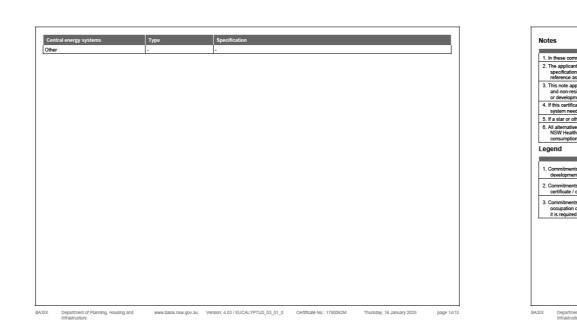
A 18.12.2024 ISSUE FOR DA

NO. Date

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Department of Planning, Housing and Infrastructure

i) Water		Show on DA plans	Show on CC/CDC plans & specs	Certifier check		
	out the development, the applicant set the specifications listed for it in t	hat	~	~		
	systems" column of the table below		ative water supply system(s) specified in sized, be configured, and be connected, as	. 🗸	~	~
(c) A swimming table.	pool or spa listed in the table must r	not have a volume (in kLs) greater th	han that specified for the pool or spa in the	~	~	
(d) A pool or spa	Isted in the table must have a cov	er or shading if specified for the poo	l or spa in the table.		~	
(e) The applican	t must install each fire sprinkler sys	tem listed in the table so that the sy	stem is configured as specified in the table.		~	~
(f) The applicant	must ensure that the central coolin	g system for a cooling tower is confi	igured as specified in the table.		~	~
Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washer	s rating	
ll common reas	no common facility	no common facility	no common facility	no common launo	iry facility	
ii) Energy				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
			ice a common area specified in the table be I must meet the efficiency measure specifie		~	~
in the table b	elow, the lighting specified for that (st also install a centralised lighting (common area. This lighting must me	rtificial lighting" for each common area spec eet the efficiency measure specified. The nent System (BMS) for the common area,	ified	~	~
		or enonified in the "Control onergy of	systems" column of the table below. In each			



BASIX Department of Planning, Housing and www.basik.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1780062M Thursday, 16 January 2025 page 13/15 Intrastructure



FC5NKDD873 NatHERS Certificate Explanatory notes

About this report

About this report This is a summary of NCC Class 1 dwellings in a development. For more details of each dwelling refer to the individual dwelling's certificate using the certificate number in summary of all dwellings table NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the energy bads and energy value¹. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy production and storage to estimate the homes energy value¹. For more details about an individual dwelling's accessment, refer to the individual divelling's NatHERS Certificate For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link)

7.3 Star rating as of 16 Jan 2025 👬

Accredited Assessors

For high quality NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments. Non-accredited assessors (Raters) have no ongoing training requirements and are not quality assured.

Licensed assessors in the Australian Capital Territory (ACT) can produce assessments for regulatory purposes only, using endorsed software, as listed on the ACT licensing register Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in certificates is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy use, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way. Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data fi les may be available from the assessor

Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments. For more details see www.nathers.gov.au. Generated on 16 Jan 2025 using FirstRateS v5.5.5a for 668 Henry Lawson Drive, East Hills, NSW, 2213 Page 2 of 2

Property Address LotDP NCC Class* Floor/all Floors Type 1, 668 Henry Lawson Drive, East Hills, NSW, 2213 A/DP357768 Class 1a 7.6 The more stars the more energy efficient **HOUSE** New Home Plans Main plan 42/2024 Rev A/18.12.2024 Prepared by Dezcon 24 MJ/m² **Construction and environment** Predicted annual energy load for heating and cooling based on standar occupancy assumptions.
 Construction
 Construction

 Assessed floor area (m²)
 Exposure type

 Conditioned*
 228.2

 Suburban
 Suburban

 Unconditioned*
 18.7

 NatHERS climate zone
 Total

 244.9
 56 Mascot AMO

 Garage
 18.7
 For more information on your dwelling's ruling see: www.nathers.gov.au Thermal performance [MJ/m²] Accredited assessor Limits taken from ABCB Standard 2022
 Heating
 Cooling

 Modelled
 0.8
 17.1

 Load limits
 N/A
 N/A

 Name
 Millard Perez

 Business name
 Thermperform

 Email
 millard@thermperform.com.au

 Phone
 +01402208704

 Accoreditation No.
 101510

 Assessor Accorediting Organisation
 ABSA

 Declaration of interest
 No.
 Features determining load limits Floor type Floor type N/A (lowest conditioned area) NCC climate zone 1 or 2 N/A Outdoor living area N/A Outdoor living area ceiling fan N/A Declaration of interest No NCC Requirements NCC provisions Volume 2 State/Territory variation Yes National Construction Code (NCC) requirements The NCC allows the use of NaHHERS accretized software to comply with the energy efficiency requirements for house (Class 1 building) and againments (Class 2 sele-obsequency units and Class 4 part of building). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For againments the requirements are detailed in classes J303 and J3015 of NCC Volume One. NCL votame Une NCC 2022 Includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole off-nome annual energy use budget winth apages to be margine explament in the house. The NCC, and associated ASCS Standards and support material, can be accessed at www.dob.gov.au. Verification

Nationwide House Energy Rating Scheme® Thermal performance

NatHERS[®] Certificate No. L5UU0ROHNV

Generated on 15 Jan 2025 using FirstRate5: 5.5.5a (3.22)

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories. Refer to glossary. Generated on 15 Jan 2025 using FirstRateS: 5.5.5a (3.22) for ADP357768, U 1, 668 Henry Lawson Drive, East Hills, NSW, 2213 Page 1 of 13

Whole of Home performance rating No Whole of Home performance rating generated for this certificate

To verify his certificate, scan
the CR code or visit https://www.ffs.com.au.uRCcode.au
ung?Poulicid=LSUURCoHV
When using either ins,
ensure you are visiting
www.ffs.com.au.

****** * 7 F

star rating





page 15/15

SITE CALCULATIONS	CRITERIA	PROPOSEI
TOTAL SITE AREA	400 m ²	929 m ²
ZONE	-	R2
MAX FSR	0.5:1	
	=464.5 m ²	464 m ²
MAX BUILDING HEIGHT	9 m	7.455 m
LANDSCAPING		
FRONT LANDSCAPE	45%	50.6%
PROPOSED LOT 01		
GROUND FLOOR AREA	-	122 m ²
FIRST FLOOR AREA	-	110 m ²
TOTAL FSR	-	232 m ²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	7700 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m ²	80.2 m ²
PROPOSED LOT 02		
GROUND FLOOR AREA	-	122m ²
FIRST FLOOR AREA	-	110 m ²
TOTAL FSR	-	232 m ²
GF FRONT SETBACK	11830 mm	12830 mm
FF FRONT SETBACK	11830 mm	12440 mm
GF SIDE SETBACK	900 mm	900 mm
FF SIDE SETBACK	900 mm	900 mm
GF REAR SETBACK	-	19130 mm
FF REAR SETBACK	-	8010 mm
PRIVATE OPEN SPACE	80 m ²	80.2 m ²

BUILDING SPECIFICATIONS

- DOUBLE BRICK PARTITION WALL TO FLL 60/60/60
- BRICK VENEER FOR GROUND AND FIRST FLOOR EXTERIOR WALLS
- TIMBER STUD WALLS FOR ALL INTERIOR WALLS
- CONCRETE SLAB FOR GROUND FLOOR
- SUSPENDED LIGHTWEIGHT FLOOR FOR FIRST FLOOR
- TIMBER FRAMED COLORBOND ROOF

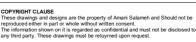
GENERAL NOTES

- TIMBER FRAME ROOF AS PER LIGHT TIMBER FRAME CODE WITH SELECT
- ROOF SHEETING AND ROOF TILES - ALUMINIUM POWDER COATED FASCIA, GUTTERS AND DOWNPIPES
- SELECT FINISH TO TIMBER LOUVERS
- DOUBLE BRICK CONSTRUCTION WITH SELECT PAINT FINISH
- SINGLE BRICK SKIN WITH SELECT PAINT FINISH TO INTERNAL WALLS
- ALUMINIUM POWDER COATED FRAMING TO GLAZED WINDOWS - ALUMINIUM POWDER COATED BI-FOLD DOORS WITH SELCT GLAZING
- ALUMINIUM POWDER COATED MULLIONS TO CURTAIN WALL WITH SELECT GLAZING
- SELECT TIMBER SOLID CORE WEATHERPROOF ENTRY DOOR - SELECT GLAZING TO BALCONY BALUSTRADING
- REINFORCED CONCRETE V COLOUMN
- SELECT FINISH TO ROLLER SHUTTER DOORS
- PROVIDE ADEQUATE WATERPROOFING TO ALL WET AREAS
- PROVIDE SELECT FLOOR FINISH - RC. SLAB, FOOTINGS AND BEAMS
- REFER TO BASIX REPORT FOR THERMAL, GLAZING AND WATER
- COMMITMENTS - REFER TO LANDSCAPE PLAN FOR LANDSCAPE DETAILS

SUPERB ENTERPRISES Client Date Project no. 20 DECEMBER 2024 42/2024 Drawing title Revision no Checked by SITE SPECIFICATIONS Scale AS 1:100 @A2 Drawing no PROPOSED ATTACHED DUAL OCCUPANCY 002 668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

m_ 0423 908 060 info@dezcon.net www.dezcon.net.au

aezcon Approved By A Salameh B.Des.Architecture | M.Architecture at UTS BDAA 6523

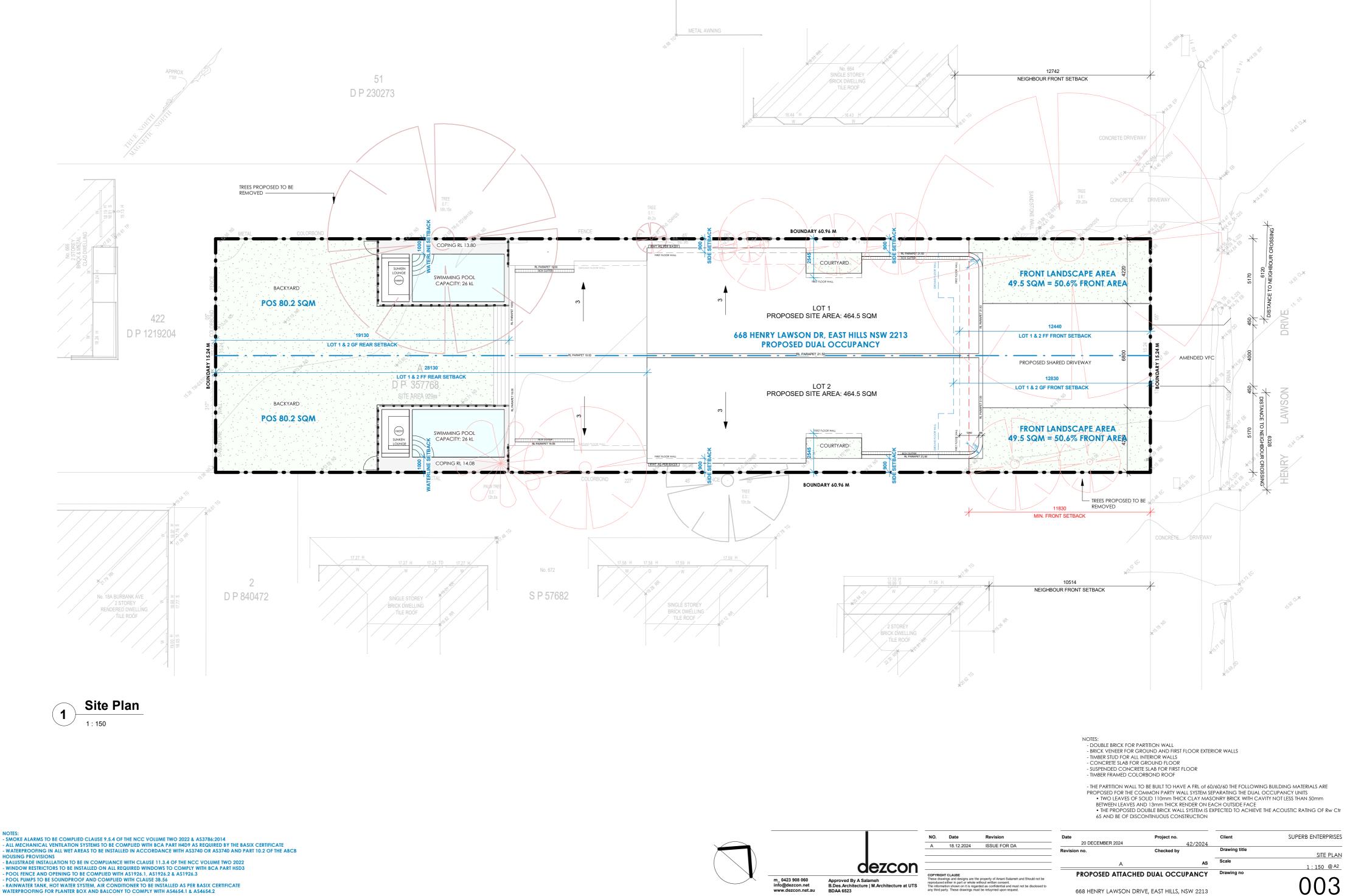


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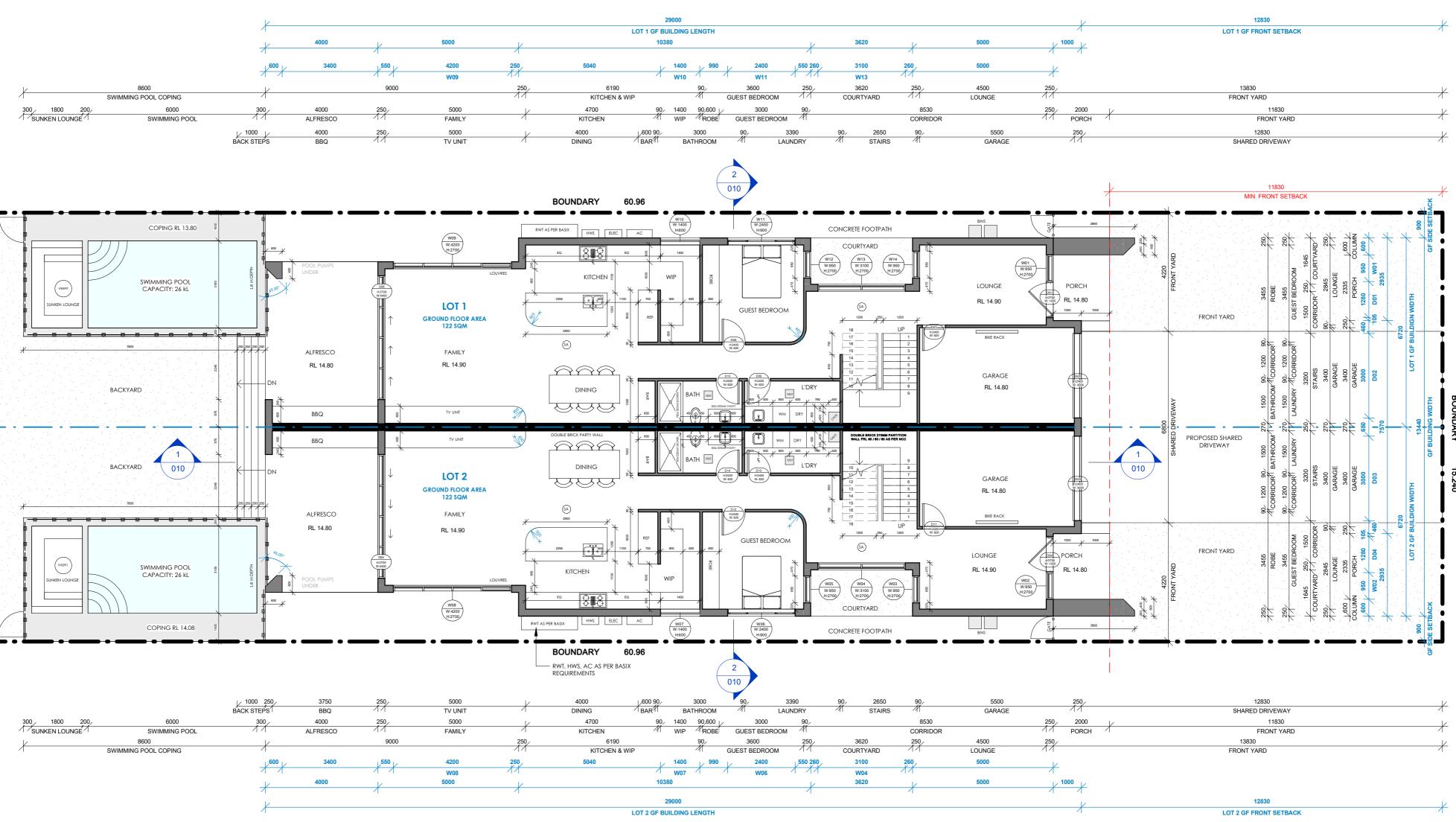
Revision

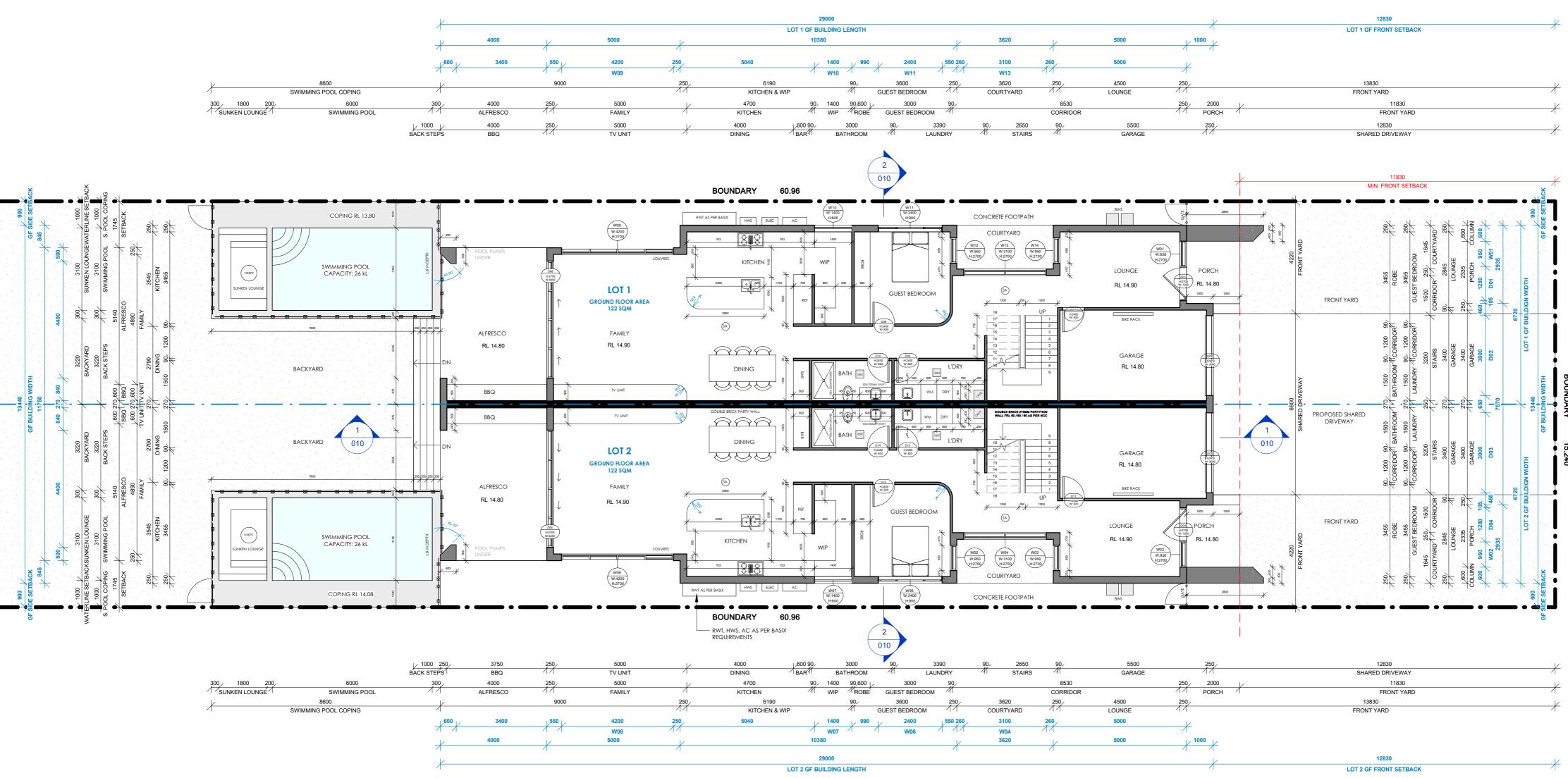
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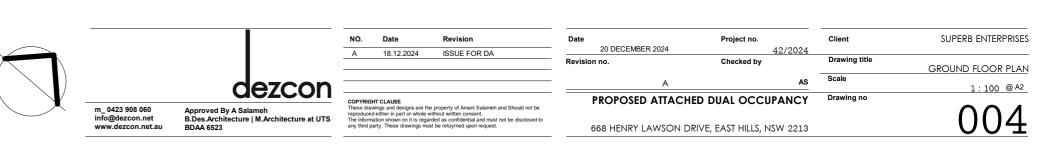
WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3/40 OK AS3/40 AND FAI HOUSING PROVISIONS
 BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
 WINDOW RESTRICTORS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART H5D3
 POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2, & AS1926.3
 POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.56
 RAINWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4654.1 & AS4654.2

668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

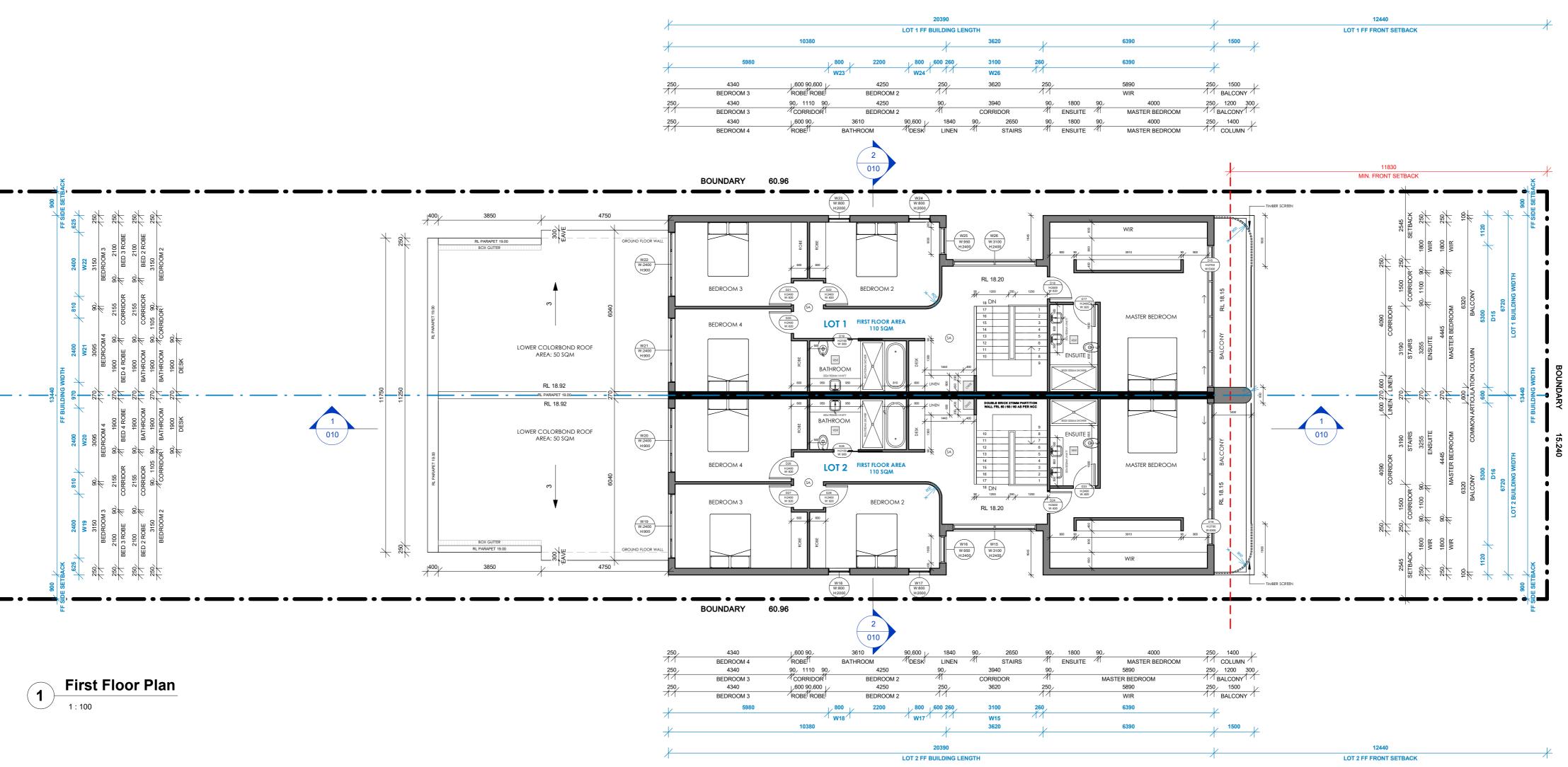






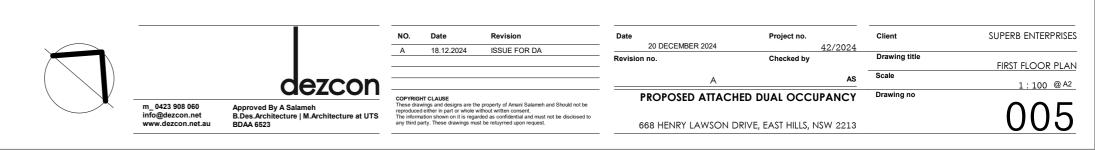


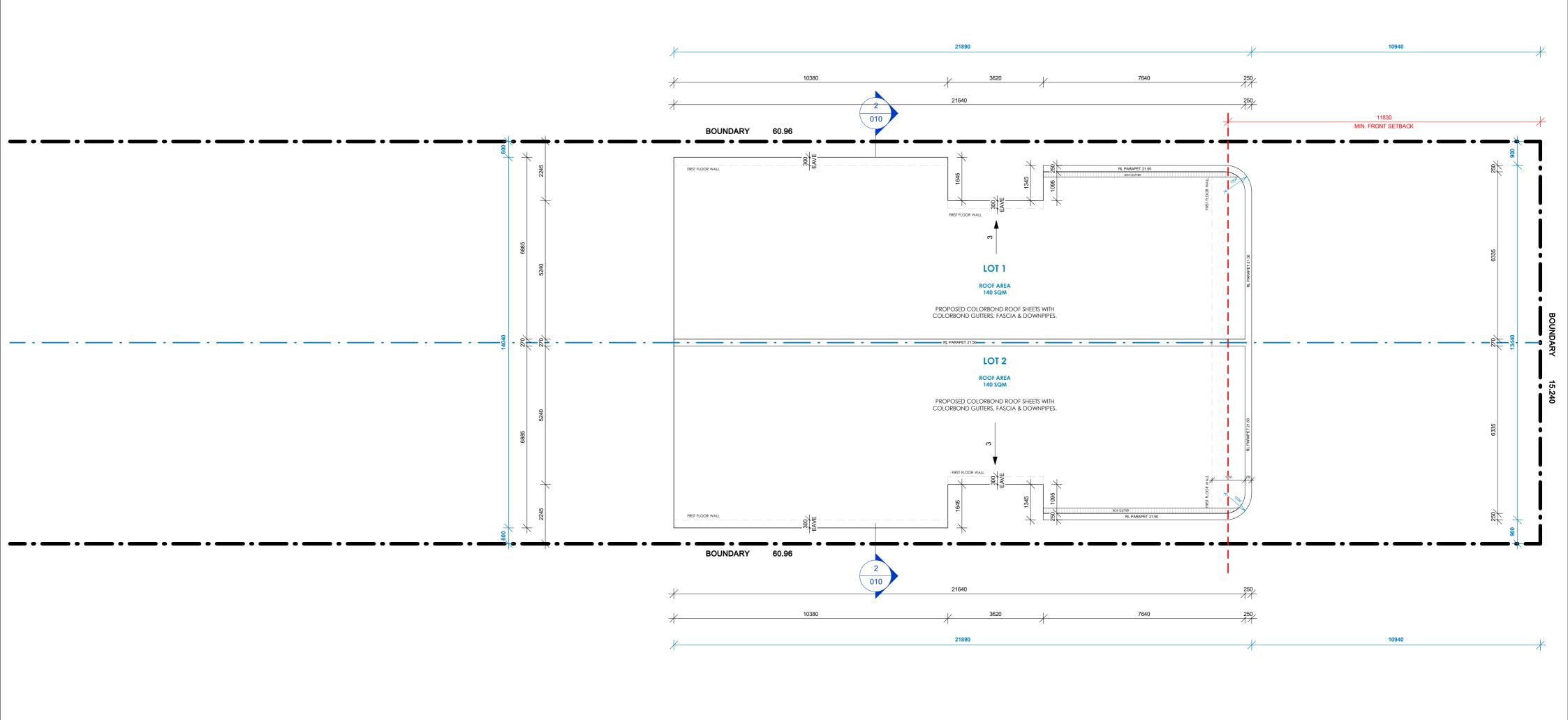
X		
<u> </u>		10380
*	5980	× ⁸
250 1	4340 BEDROOM 3	ROBE ROBE
250 1	4340 BEDROOM 3	90, 1110 90, CORRIDOR
250 イイ	4340 BEDROOM 4	ROBE



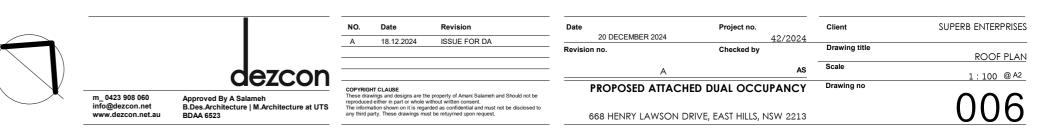


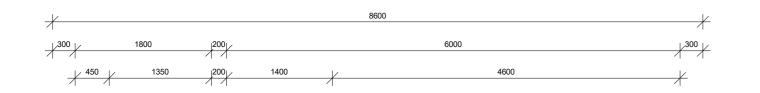
250	4340	600 90
11	BEDROOM 4	ROBE
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11	BEDROOM 3	CORRIDOR
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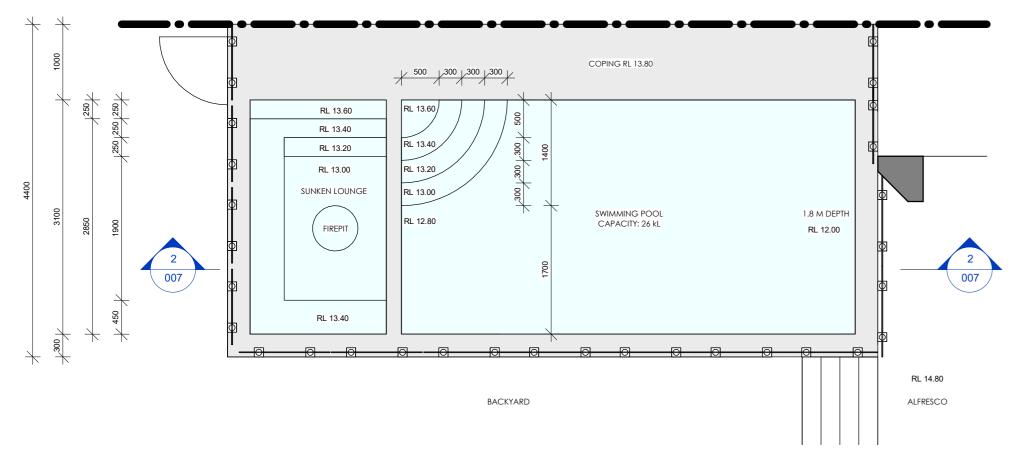




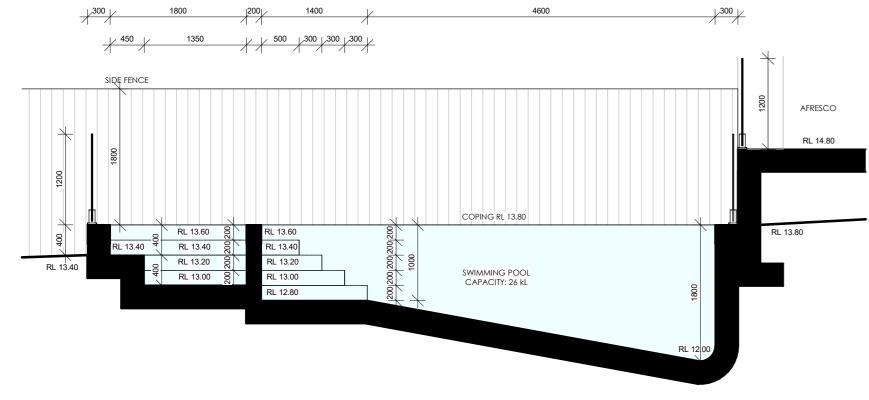




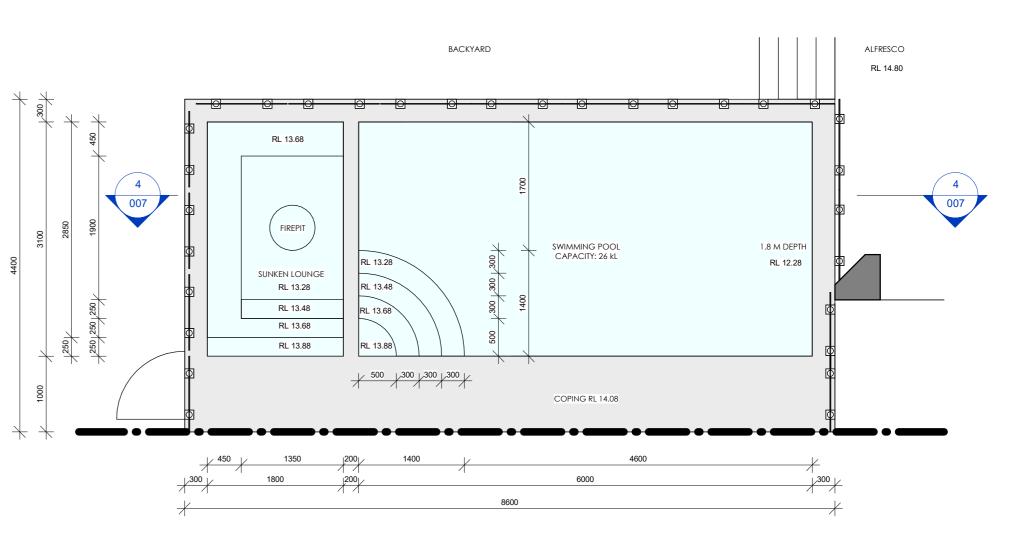




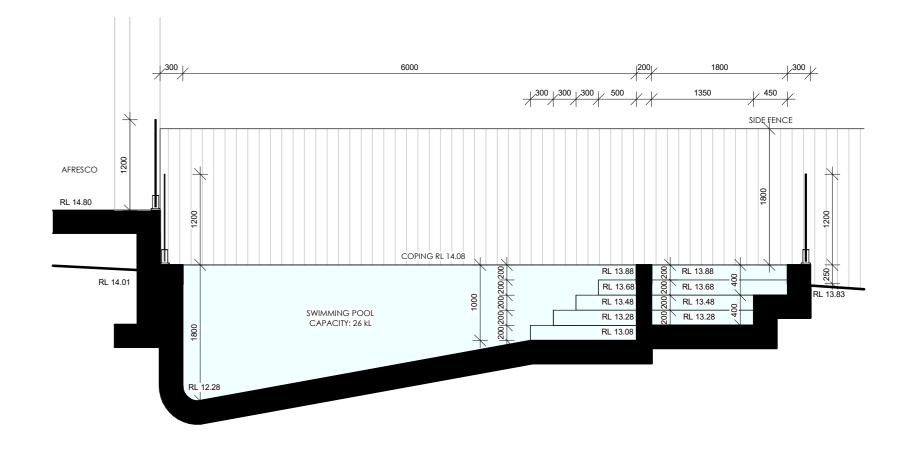






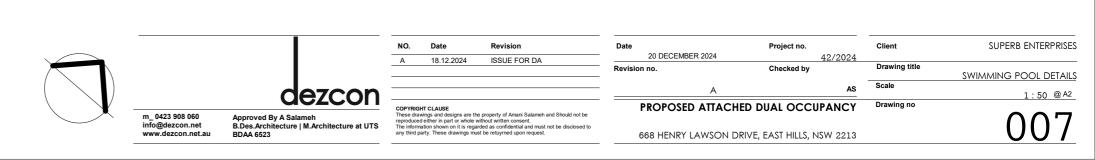


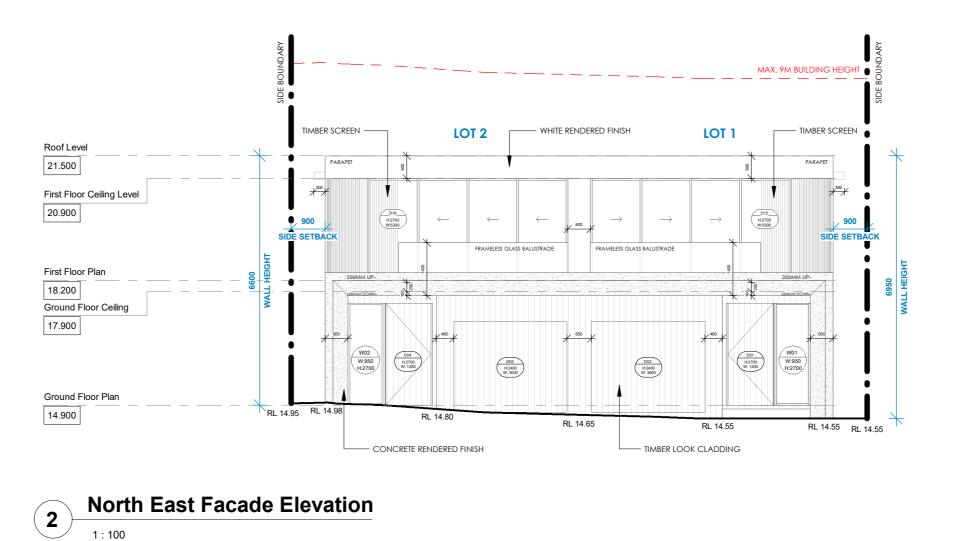
3 Lot 2 Swimming Pool Plan



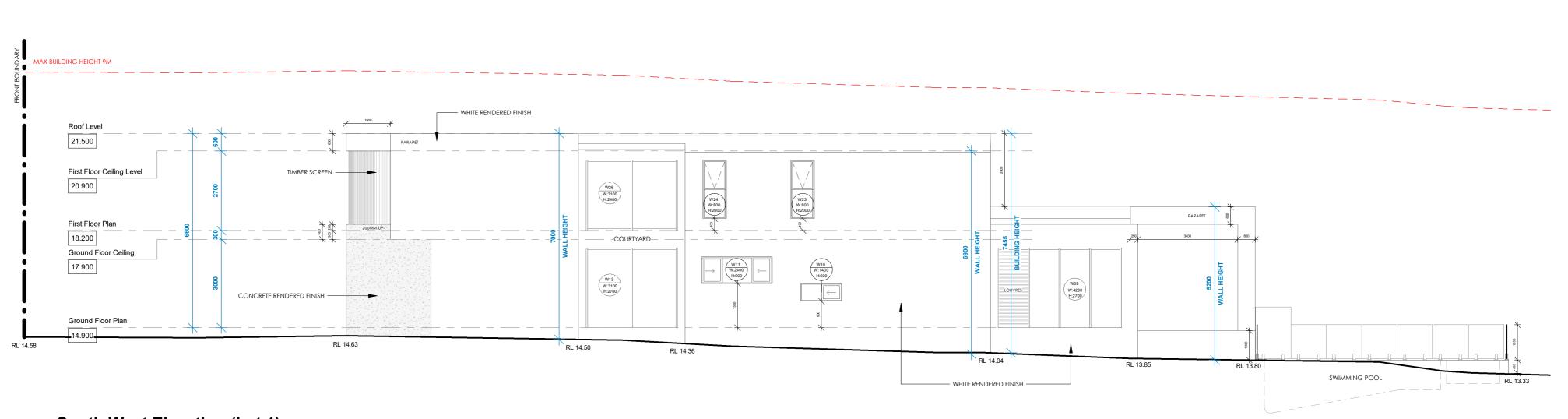




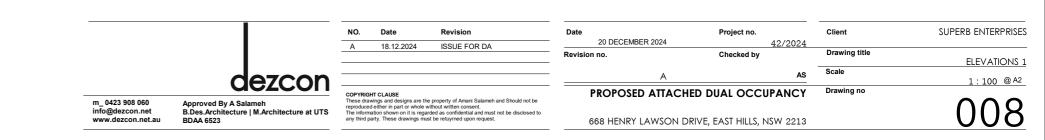


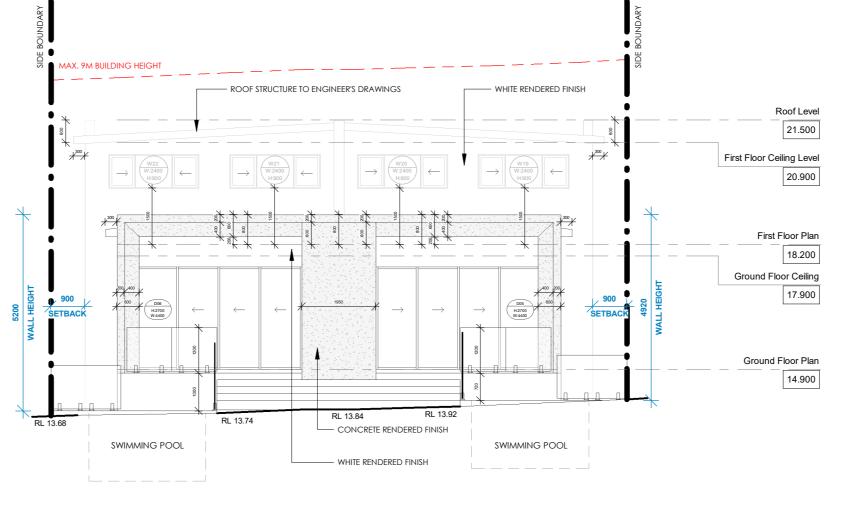


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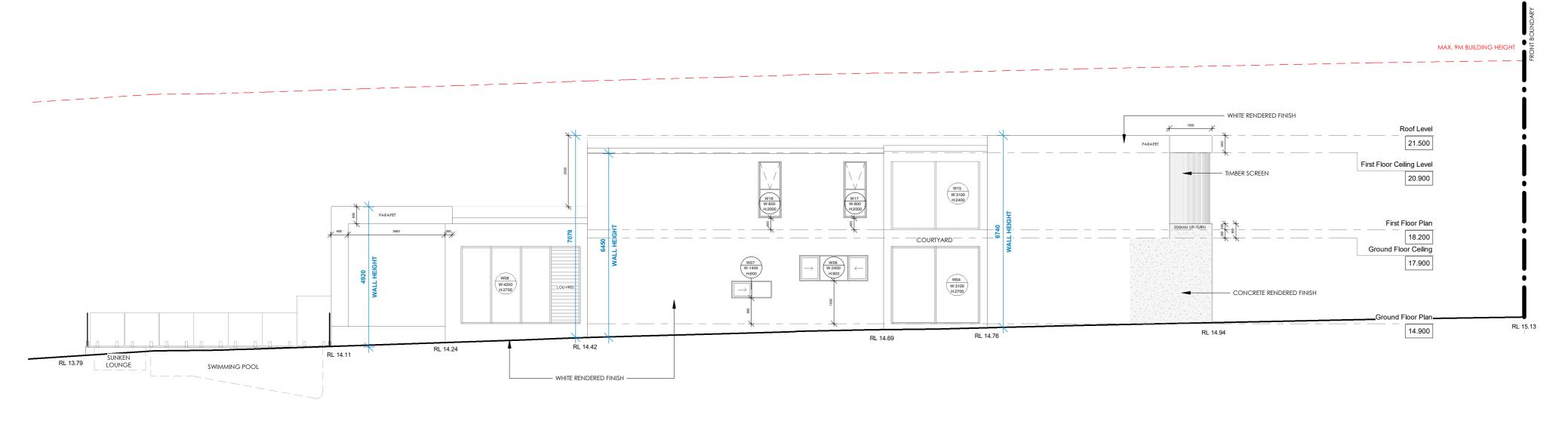










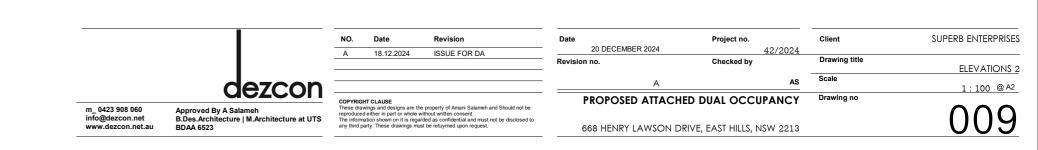


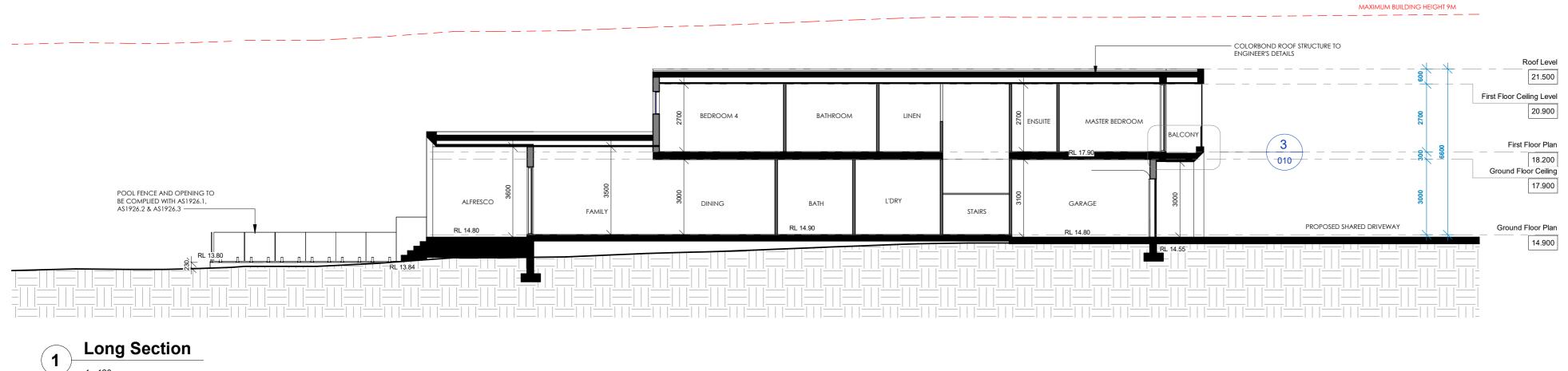




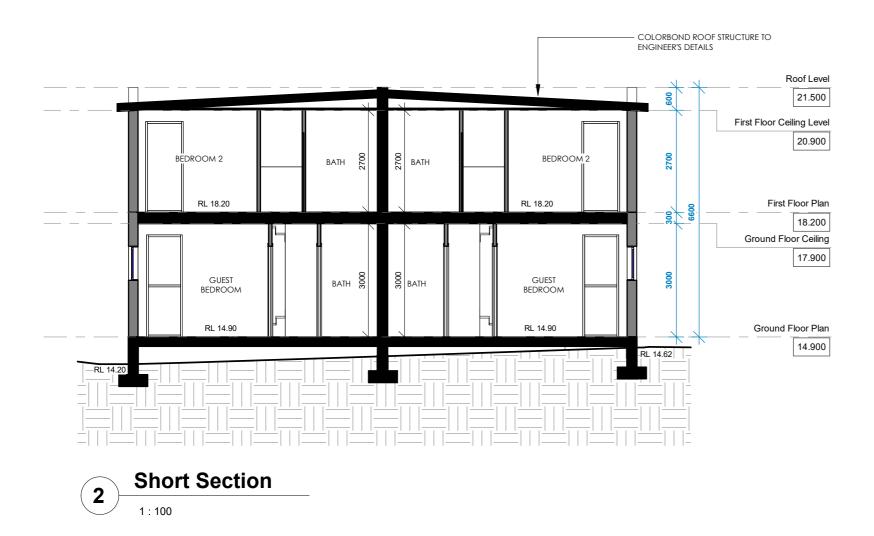
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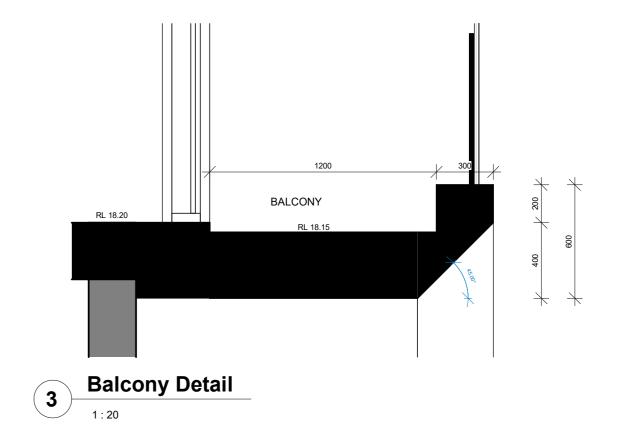
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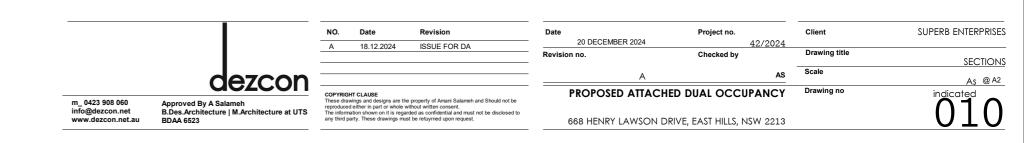


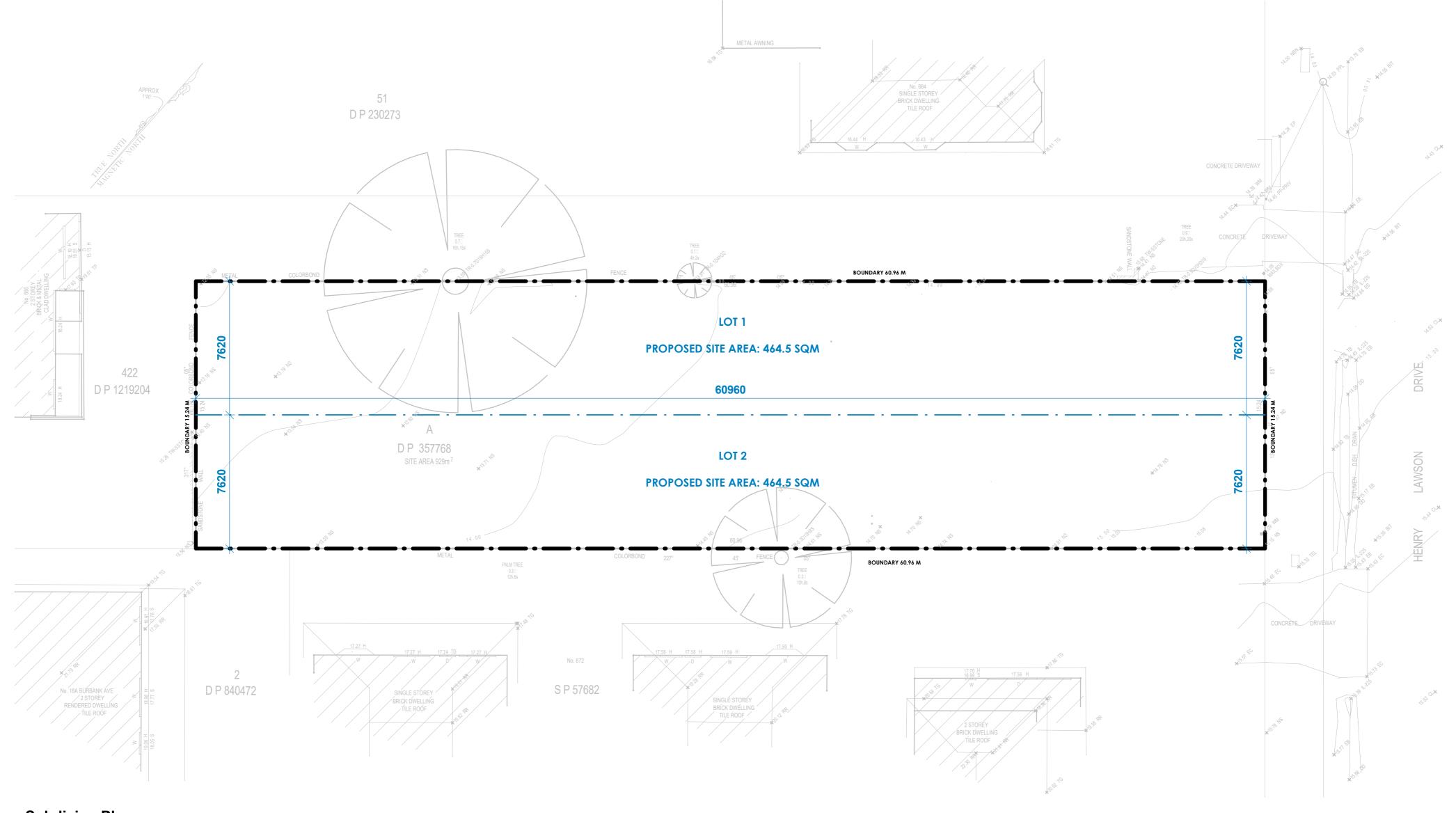


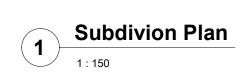
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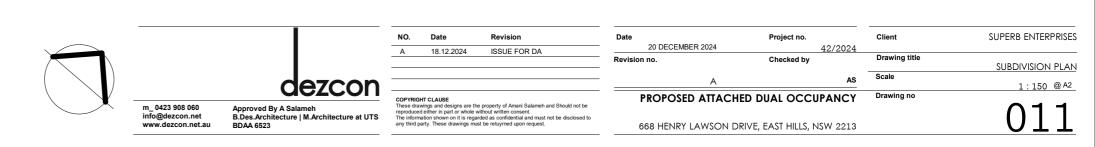












Window Schedule							
Mark	Width	Height	Sill Height	Туре	Glazing		
W01	950	2700	0	Fixed Window	Clear		
W02	950	2700	0	Fixed Window	Clear		
W03	950	2700	0	Fixed Window	Clear		
W04	3100	2700	0	Fixed Window	Clear		
W05	950	2700	0	Fixed Window	Clear		
W06	2400	900	1500	Sliding Window	Clear		
W07	1400	600	900	Sliding Window	Clear		
W08	4200	2700	0	Fixed & Louvre Window	Clear		
W09	4200	2700	0	Fixed & Louvre Window	Clear		
W10	1400	600	900	Sliding Window	Clear		
W11	2400	900	1500	Sliding Window	Clear		
W12	950	2700	0	Fixed Window	Clear		
W13	3100	2700	0	Fixed Window	Clear		
W14	950	2700	0	Fixed Window	Clear		
W15	3100	2400	0	Fixed Window	Clear		
W16	950	2400	0	Fixed Window	Clear		
W17	800	2000	400	Awning Window	Clear		
W18	800	2000	400	Awning Window	Clear		
W19	2400	900	1500	Sliding Window	Clear		
W20	2400	900	1500	Sliding Window	Clear		
W21	2400	900	1500	Sliding Window	Clear		
W22	2400	900	1500	Sliding Window	Clear		
W23	800	2000	400	Awning Window	Clear		
W24	800	2000	400	Awning Window	Clear		
W25	950	2400	0	Fixed Window	Clear		
W26	3100	2400	0	Fixed Window	Clear		

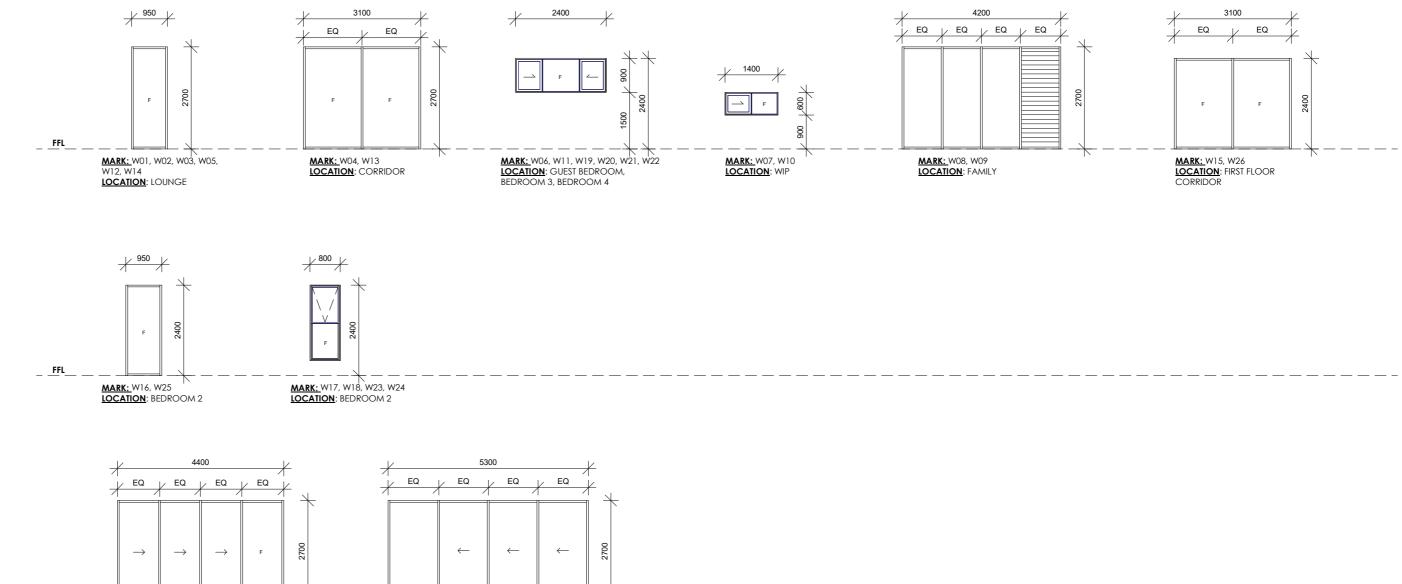
Door Schedule							
Mark	Height	Width	Description	Finish			
			1				
D01	2700	1200	Pivot Door	Solid Timber			
D02	2400	3000	Garage Roller Door	Solid Timber			
D03	2400	3000	Garage Roller Door	Solid Timber			
D04	2700	1200	Pivot Door	Solid Timber			
D05	2700	4400	Four Panel Stacker Door	Clear Glazing			
D06	2700	4400	Four Panel Stacker Door	Clear Glazing			
D07	2400	820	Flush Door	Solid Timber			
D08	2400	820	Flush Door	Solid Timber			
D09	2400	820	Flush Door	Solid Timber			
D10	2400	820	Flush Door	Solid Timber			
D11	2400	820	Flush Door	Solid Timber			
D12	2400	820	Flush Door	Solid Timber			
D13	2400	820	Flush Door	Solid Timber			
D14	2400	820	Flush Door	Solid Timber			
D15	2700	5300	Four Panel Stacker Door	Clear Glazing			
D16	2700	5300	Four Panel Stacker Door	Clear Glazing			
D17	2400	820	Flush Door	Solid Timber			
D18	2400	820	Flush Door	Solid Timber			
D19	2100	900	Pocket Sliding Door	Solid Timber			
D20	2400	820	Flush Door	Solid Timber			
D21	2400	820	Flush Door	Solid Timber			
D22	2400	820	Flush Door	Solid Timber			
D23	2400	820	Flush Door	Solid Timber			
D24	2400	820	Flush Door	Solid Timber			
D25	2100	900	Pocket Sliding Door	Solid Timber			
D26	2400	820	Flush Door	Solid Timber			
D27	2400	820	Flush Door	Solid Timber			
D28	2400	820	Flush Door	Solid Timber			

Grand total: 28

GLAZING SCHEDULE

____FFL_____

MARK: D05, D06



_ EQ	+
-	2700

<u>**TYPE:**</u>D15, D16 <u>LOCATION</u>: MASTER BEDROOM



A 18.12.2024 ISSUE FOR DA

FIXED PANEL OBSCURE GLASS LOUVRE WINDOW SLDIING PANEL FLUSH PANEL AWNING PANEL

GENERAL NOTES: - EXACT OPENING & WINDOW SIZE TO MANUFACTURERS SPECIFICATIONS AND DETAILS. - GLAZING & FRAMING TO COMPLY WITH BCA & RELEVANT AUSTRALIAN STANDARDS - INSTALLATION TO MANUFACTURER'S RECOMMENDATIONS - TO BE READ IN CONJUNCTIONS WITH PLANS - COMPLIANCE CERTIFICATES TO BE PROVIDED BY WINDOWS MANUFACTURER. - TO BE READ IN CONJUNCTION WITH BASIX CERTIFICTE. - ALL WINDOW FRAME SIZES, FLYSCREENS & GLASS TYPE TO BE CONFIRMED BY THE OWNER OR BUILDER. BUILDER.

- CHECK ALL WINDOW & DOOR OPENINGS ON SITE

SUPERB ENTERPRISES Client Date Project no. 20 DECEMBER 2024 42/2024 Drawing title Revision no. Checked by WINDOWS & DOOR SCHEDULE Scale AS Α 1:100 @A2 PROPOSED ATTACHED DUAL OCCUPANCY Drawing no 012 668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

m_ 0423 908 060 info@dezcon.net www.dezcon.net.au

dezcon Approved By A Salameh B.Des.Architecture | M.Architecture at UTS BDAA 6523

NO. Date

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Revision



WHITE RENDERED FINISH—

FRAMELESS GLASS BALUSTRADE-

TIMBER BATTENS -

STONE CLADDING-

CONCRETE RENDER-

TIMBER LOOK CLADDING FOR GARAGE AND ENTRY DOORS

SCHEDULE OF FINISHES

SUPPLIER: ALU SELEKTA SQUARE BATTENS: 50 x 50 MM COLOUR: TASMANIAN OAK SUPPLIER: DULUX NAME: VIVID WHITE COLOUR: WHITE





SUPPLIER: ROCKCOTE NAME: CONCRETE FINISH SUPPLIER: ECO OUTDOOR NAME: WILTON FREEFORM OR EQUIVALENT



*PLANTS FOR ILLUSTRATION PURPOSES ONLY

		NO.	Date	Revision	Date	Project no.	Client	SUPERB ENTERPRISES
		A	18.12.2024	ISSUE FOR DA	20 DECEMBER 2024	42/2024		
					Revision no.	Checked by	Drawing title SCHE	DULE OF COLOURS AND FINISHES
	dezcon				Α	AS	Scale	1:100 @ A2
	acteon	COPYRIG	GHT CLAUSE		PROPOSED ATTA	ACHED DUAL OCCUPANCY	Drawing no	
m_ 0423 908 060 info@dezcon.net	Approved By A Salameh	These dra reproduce	awings and designs are the ed either in part or whole w					012
www.dezcon.net.au	B.Des.Architecture M.Architecture at UTS BDAA 6523			rded as confidential and must not be disclosed to st be retuyrned upon request.	668 HENRY LAWSC	ON DRIVE, EAST HILLS, NSW 2213		ULS







 NO.
 Date
 Revision

 A
 18.12.2024
 ISSUE FOR DA

Date 20 DECEMBER 2024 Revision no. Project no. 42/2024 Drawing title Checked by AS Scale А PROPOSED ATTACHED DUAL OCCUPANCY
Drawing no
Drawing no

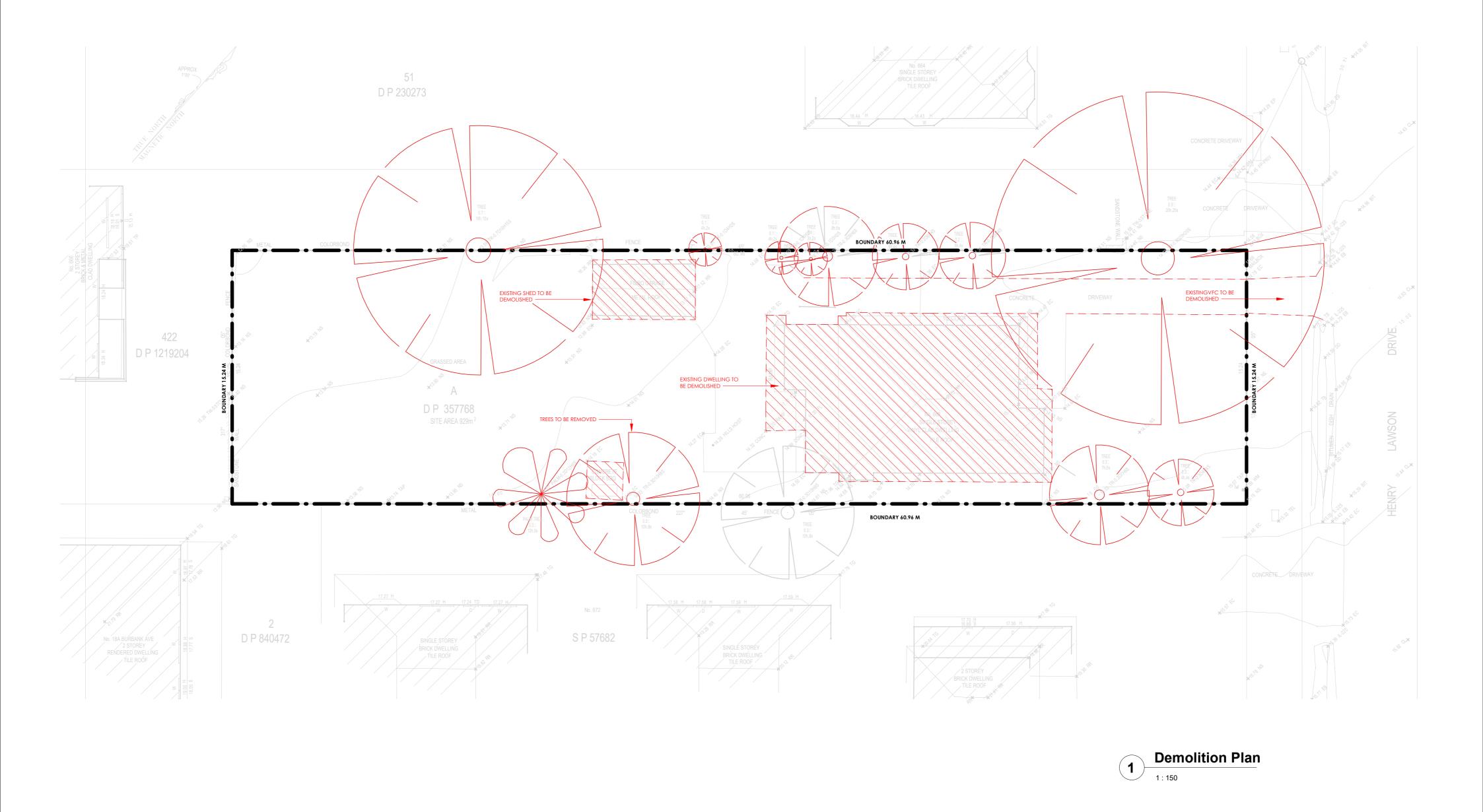
SUPERB ENTERPRISES 3D ELEVATION VIEWS @ A2

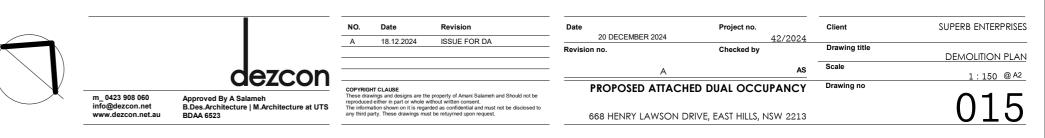
Client

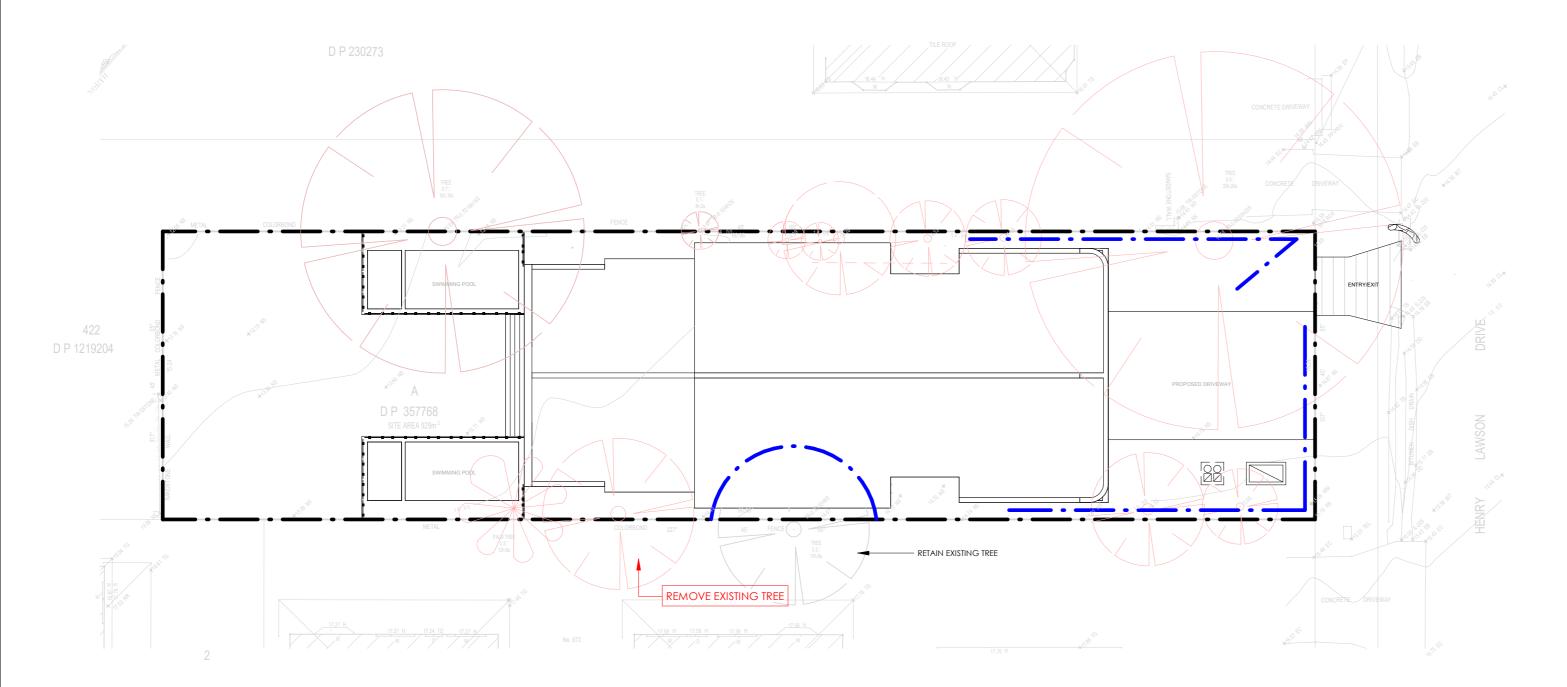


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668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213









The sediment controls need to be in place prior to the commencement VEGETATION CONTROL of building works. Remember that the sediment controls will need to be Install the 'no go' areas by fencing off these zones. Place altered as construction occurs and the sites drainage patterns change. red tape or other bright materials around trees and plants DUST MANAGEMENT

Good sediment management can alleviate most of the dust problem. Some of the steps that can be taken to minimise dust include: Maintain as much vegetation as possible

Cover materials and stockpiles

slightly during excavation or when dust is being raised. Be careful not to due to its structure, texture or excessive slope. Erosion wet it to the point of creating polluted runoff.

Ensure that vehicles only leave via the stabilised site access Minimise the amount of the site that is disturbed at any one time

WASTE MANAGEMENT CONTROL

Skip bins for wastes and recycling should be covered to prevent wind blowing waste off-site but also to prevent rain water from entering and being contaminated by the wastes. Cover the skip any time the site is unattended, over night, at weekends and when it is wet or windy. Provide continuous dust protection for any chutes and conveyors used to load the skip from roof or upper storeys. If skip bins are stored in public areas, notify neighbours and Council inspectors off around the stockpile and a sediment fence 1 to 2 m and ask for their help in stopping illegal use.

to be kept. Ensure staff and subcontractors know not to enter. As you finish earthworks in one part of the site, revegetate it or plant temporary crops like rye to prevent erosion.

Revegetation should not be expected to provide Ensure that all equipment has dust suppressors fitted Dampen the site complete erosion protection for a soil that is not stable control matting should be used for revegetation areas on excessive slopes to provide interim protection until the vegetation cover can be fully established.

STOCK PILES

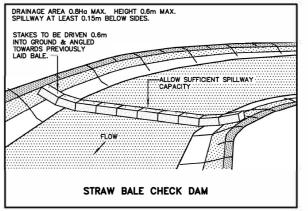
Locate stockpile away from stormwater flow paths, roads and hazard areas - ideally at least 5m away. Place on a level area as a low, flat, elongated mound. Where there is sufficient area topsoil stockpiles shall be less than 2m in height.

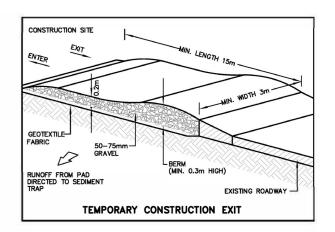
Construct an earth bank on the upslope side to divert run downslope of the stockpile or sand bag, gravel sausage. Stockpiles should be covered during windy conditions, rain or unattended site periods.

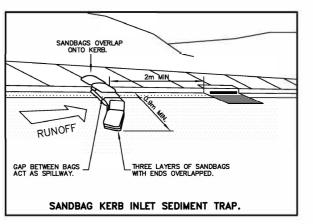
Once the roof has been installed on the frame, move stockpiles inside.

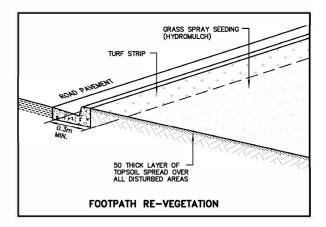
WASH BAY

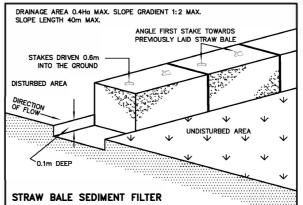
The wash down area should have sediment controls around it and be large enough to hold all waste water generated. It sould be clearly signposted to alert subcontractors and staff of their responsibilities. Minimise the amount of waste water generated by: Sweeping excess dirt and mud off equipment prior to washing. With Paint wastes- Spin the rollers and brushes to remove excess paint and return as much as possible to the original container for reuse. For water based paints- wash brushes in small amounts of water over newspaper. This will let the water soak through into the ground and keep the paint residue on the paper. The paper can then be placed in a solid waste bin or taken to a licensed solid waste transfer station. It is illegal to let paint and other liquid wastes contaminate the soil. For oil based paints- wash equipment in a series of solvent baths until clean. The solvent can be reused until it becomes saturated with paint. Solvent should be stored in air tight tins to prevent evaporation and disposed of to a licenced solid waste transfer station. It can not be placed in the bin or on the ground.

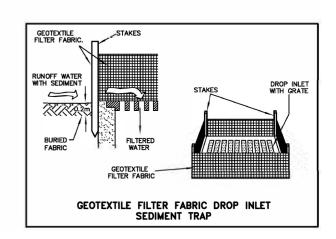


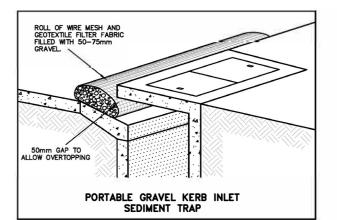


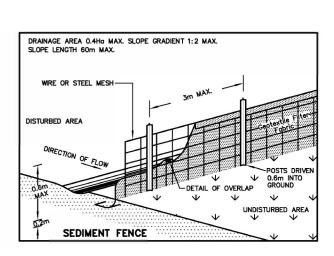


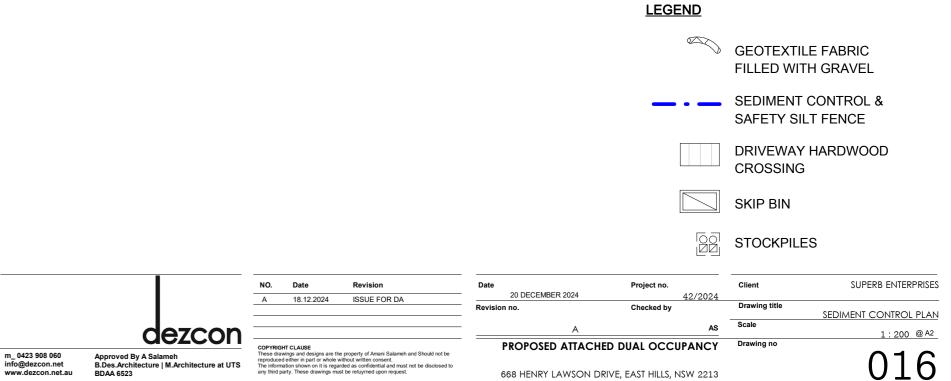


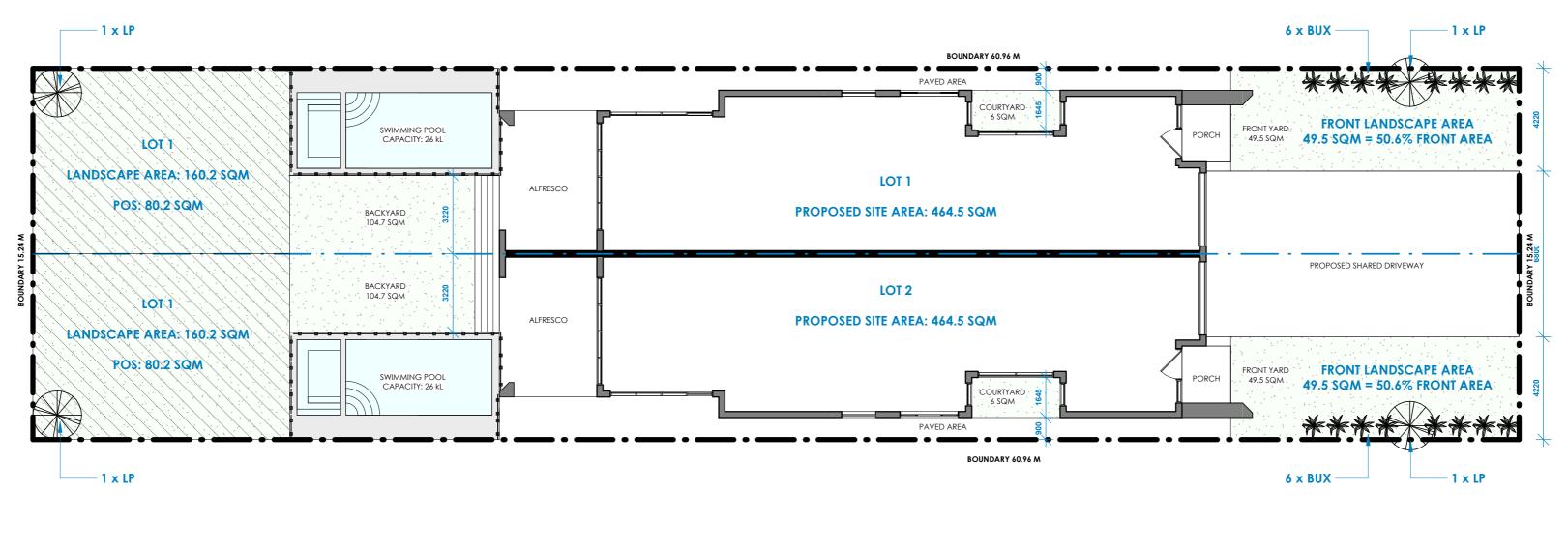














SYMBOL	BOTANIC NAME	COMMON NAME	WIDTH - m	HEIGHT - m	POT SIZE - mm	NUMBER	COLOUR
BUX	BUXUS	BUXUS	0.5m	0.5m	200mm	12	N/A
LP	ACMENA SMITHII	LILLY PILLY	6 m	8 - 10m	75 L	4	MIX

PROPOSED TREE :

All tree planting holes are to be excavated 200mm wider and at least 200mm deeper than the rootball size. All trees are to be double staked and secured with hessian ties in figure eight arrangement.

Apply 150mm layer of topsoil to all turfed areas laid over deep soil. Prior to laying turf, contractor to ensure all topsoiled areas are smoothly graded with no surface depressions or other irregularities,

large stones or building debris turf used for this site shall be cultivated. Unless specified otherwise, turf shall be laid flush with adjacement finished surface levels. PLANT MATERIAL: All plants to be healthy and well developed without being root

bound and disease free.

GARDEN BED/ MULCH:

The topsoil to all garden bed areas shall be 1 part site topsoil and 2 parts organic compost thoroughly mixed together prior to placing into position.

Where the site topsoil is not suitable imported topsoil meeting the requirements of AS4419-1998 shall be used. Topsoil depth to all garden bed areas to be garden mix 300mm deep.

Mulch consisting of pine bark is to be spread over all planter beds to a depth of 100mm. Reduce depth of mulch around bae of plants to form 'watering dsh' to facilitate watering.

MAINTENCE:

Maintain all landscape areas to ensure plant health and occupant safety for a period of 12 months beginning from date of practical completion to the satisfaction of council.

Maintenance will include but not limited to the following activities, mowing, edging, pruning and top dressing of turf areas also all plants to be fed slow release fertilizer according to manufacturer's recommendations. regular ongoing observation and maintenance is required.

IRRIGATION:

each unit or the installation of automatic/manual water system as owner choices.

USE EITHER DAMPFAST OR PLASTIC WATER PROOFING LINERS AS A WATER PROOFING ALSO USE ABOVE WHERE GARDEN BED COME IN CONTACT WITH BRICKWORK

GARDEN BED EDGING:

No chemically treated timber edging to be used.

PAVING:

All pavement areas including driveways and pathways are to have a stenciled concrete finish. All pavement surfaces to comply with the requirements of AS/NZ 3661.1 1993 Slip resistence of pedestrian surfaces.

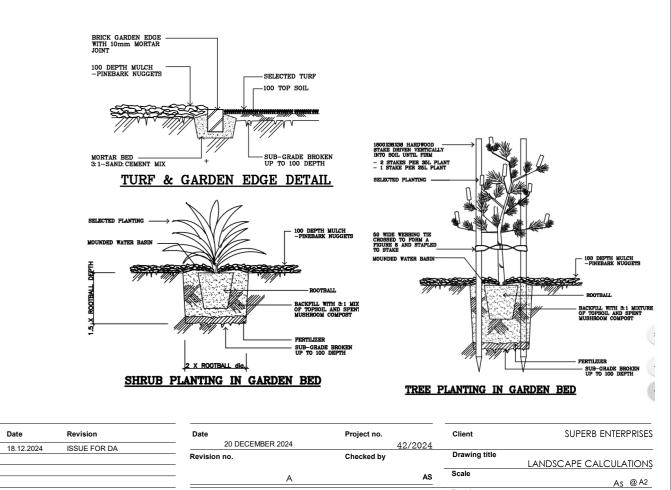
DISCREPANCIES:

Should there be any discrepancies on the drawings and or on site, landscaping contractor to notify the superintendent for resolution IRRIGATION: Provide one housecook in the front and rear landscape of planner immediatley for correction.

STANDARDS:

All materials and standards of workmanship used on this project is to comply with the latest revision of the relevant Australian Standards. EXCAVATIONS:

Any services drawn on the plan have been indicatively located. Further services may be present priot to any construction or excavation on site. The relevant authorities should be contacted for possible location of further ground services and detailed of all services.



Drawing no

017

m_ 0423 908 060 info@dezcon.net www.dezcon.net.au

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NO. Date

Α

dezcon

PROPOSED ATTACHED DUAL OCCUPANCY 668 HENRY LAWSON DRIVE, EAST HILLS, NSW 2213

